

<LEVEL 4 SITE PLAN> AAA STORAGE

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THE FOLLOWING GENERAL CONDITIONS APPLY TO THE SITE:

FOR SITES WITHOUT FLOODPLAIN: THIS SITE IS NOT IN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS, AS SHOWN ON FIRM PANEL 3720084200K, DATED 10/19/2018.

- LANDSCAPE MULCH:** PINE STRAW SHALL NOT BE USED AS MULCH OR GROUND COVER WITHIN TEN FEET OF ANY STRUCTURES CONSISTING OF EXTERIOR COMBUSTIBLE CONSTRUCTION AS SPECIFIED BY DURHAM CITY CODE SECTION 46.97.
- LANDSCAPE/SITE COMPLIANCE INSPECTION:** ALL SITE IMPROVEMENTS, INCLUDING LANDSCAPING, MUST BE IN PLACE PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. CONTACT THE DURHAM CITY/COUNTY PLANNING DEPARTMENT ZONING DIVISION TO SCHEDULE AN INSPECTION. SITE COMPLIANCE INSPECTION FEES MUST BE RECEIVED BY THE DURHAM CITY/COUNTY PLANNING DEPARTMENT PRIOR TO SCHEDULING AN INSPECTION. IF A RE-INSPECTION IS REQUIRED, AN ADDITIONAL INSPECTION FEE MUST BE RECEIVED BY THIS OFFICE PRIOR TO THE RE-INSPECTION.
- LANDSCAPE RE-INSPECTION FEE:** EACH LANDSCAPING COMPLIANCE INSPECTION AFTER THE INITIAL INSPECTION WILL INCUR A RE-INSPECTION FEE. PAYMENT MUST BE RECEIVED BY THE DURHAM CITY/COUNTY PLANNING DEPARTMENT PRIOR TO RE-INSPECTION.
- STREET TREE NOTE FOR ALL PRELIMINARY AND FINAL PLATS WHERE TREES WILL BE PLANTED:** STREET TREES MEETING THE REQUIREMENTS OF UDO SECTION 9.6 SHALL BE PLANTED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLIANCE, UNLESS THE PLANTING HAS BEEN POSTPONED IN ACCORDANCE WITH THE REQUIREMENTS OF UDO SEC. 9.1.1.
- NCDWQ BUFFER AUTHORIZATION NOTE:** BUFFER AUTHORIZATION BY THE NORTH CAROLINA DIVISION OF WATER QUALITY (NCDWQ) IS REQUIRED PRIOR TO CONSTRUCTION DRAWING APPROVAL. SITE PLAN CHANGES OCCURRING AS A RESULT OF ALTERATIONS NEEDED TO RECEIVE BUFFER AUTHORIZATION MAY RESULT IN THE NEED FOR A SITE PLAN AMENDMENT OR A NEW SITE PLAN BASED ON THE SCOPE OF THE REQUIRED CHANGES. IF A SITE PLAN AMENDMENT OR NEW SITE PLAN IS REQUIRED IT MUST BE APPROVED PRIOR TO CONSTRUCTION DRAWING APPROVAL. CONTACT THE DURHAM CITY/COUNTY PLANNING DEPARTMENT AT 919-560-4137 TO DETERMINE IF A SITE PLAN AMENDMENT OR A NEW SITE PLAN WILL BE REQUIRED.
- STREAM BUFFERS:** 100 FOOT WIDE UNDISTURBED STREAM BUFFER, MEASURED FROM TOP OF BANK, EACH SIDE OF STREAM. NO CLEARING OR GRADING OTHER THAN SELECTIVE THINNING AND ORDINARY MAINTENANCE OF EXISTING VEGETATION PERMITTED. EXCEPT IN ACCORDANCE WITH 15A NCAC 02B.233 (6), VEGETATION MANAGEMENT, NO STRUCTURES OR FEATURES REQUIRING GRADING OR CONSTRUCTION MAY BE BUILT WITHIN THE 100 FOOT STREAM BUFFER SETBACK. ANY USE ALLOWED BY SECTION 8.5.5 OF THE UDO SHALL BE DESIGNED AND CONSTRUCTED TO MINIMIZE THE AMOUNT OF INTRUSION INTO THE STREAM BUFFER AND TO MINIMIZE CLEARING, GRADING, EROSION AND WATER QUALITY DEGRADATION. (UDO SECTION 8.5)
- CONSTRUCTION IN PRESERVED TREE COVERAGE AREAS (UDO SECTION 8.3):**
 - PRESERVED TREE COVERAGE AREAS SHALL NOT BE USED FOR ACTIVE RECREATIONAL PURPOSES, EXCEPT FOR WALKING PATHS AND FOOT TRAILS CONSTRUCTED WITH MINIMAL DISTURBANCE OF TREE ROOTS AND EXISTING VEGETATION PROVIDED A REGISTERED ARBORIST HAS CERTIFIED THAT THE CONSTRUCTION OF THE TRAIL HAS BEEN DESIGNED TO MINIMIZE IMPACT TO THE EXISTING TREES. NO TREE OVER 10 INCHES SHALL BE REMOVED FOR THE CONSTRUCTION OF TRAILS. SITE PLAN APPROVAL IS REQUIRED FOR CONSTRUCTION OF TRAILS IN PRESERVED TREE COVERAGE AREAS.
 - ALL BUILDINGS SHALL BE SET BACK AT LEAST 10 FEET FROM THE EDGE OF ANY PRESERVED TREE COVERAGE AREA.
 - UTILITY LINES AND DRAINAGE CHANNELS SHALL BE MINIMIZED WITHIN THE ROOT PROTECTION ZONES OF THE TREES TO BE SAVED. PREFERABLY, SUCH FACILITIES SHOULD BE LOCATED ADJACENT TO DRIVEWAYS AND IN GROUPINGS ALLOWED BY SOUND ENGINEERING PRACTICES.
- TREE PROTECTION NOTE (UDO SEC. 8.3):** TREE PROTECTION FENCING MUST BE IN PLACE PRIOR TO ANY DEMOLITION, LAND DISTURBANCE, OR ISSUANCE OF A GRADING PERMIT AND SHALL INCLUDE WARNING SIGNS POSTED IN BOTH ENGLISH AND SPANISH, AS FOLLOWS: "NO TRESPASSING/TREE PROTECTION AREA/PROHIBIDO ENTRAR / ZONA PROTECTORA PARA LOS ARBOLES."
- ROOT PROTECTION ZONE (UDO SEC. 8.3):** EQUALS ONE FOOT OF RADIUS FOR EVERY INCH OF DIAMETER OF EXISTING TREES, OR SIX FOOT RADIUS, WHICHEVER IS GREATER. NO DISTURBANCE ALLOWED WITHIN THIS AREA. AREA MUST BE PROTECTED WITH BOTH TREE PROTECTION FENCING AND WARNING SIGNS.
- PROTECTION OF EXISTING VEGETATION (UDO SEC. 8.3):** AT THE START OF GRADING INVOLVING THE LOWERING OF EXISTING GRADE AROUND A TREE OR STRIPPING OF TOPSOIL, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE TREE EDGE AREA. OTHER EROSION CONTROL MEASURES ARE INSTALLED. THE TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THE CUT FARTHEST AWAY FROM THE TREE TRUNK AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE. NO STORAGE OF MATERIALS, FILL, OR EQUIPMENT AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE PROTECTED AREA.
- FOR PROJECTS INCLUDING MINI-WAREHOUSE (SELF-STORAGE) SPACE:** THIS APPROVAL IS FOR STORAGE PURPOSES ONLY, UNLESS SPECIFICALLY AUTHORIZED OTHERWISE, ANY OTHER USE COULD CREATE BUILDING CODE/ZONING VIOLATIONS.
- UDO SITE LIGHTING NOTE (UDO SEC. 7.4):** MEASURES SHALL BE PROVIDED TO PREVENT LIGHT SPILLOVER ONTO ADJACENT PROPERTIES AND GLARE TOWARD MOTOR VEHICLE OPERATORS AND SHALL BE INDICATED ON THE SITE PLAN. EXTERIOR LIGHTS SHALL BE SHIELDED SO THAT THEY DO NOT CAST DIRECT LIGHT BEYOND THE PROPERTY LINE. IN ACCORDANCE WITH THESE STANDARDS:
 - THE MAXIMUM ILLUMINATION AT THE EDGE OF THE PROPERTY LINE ADJACENT TO RESIDENTIAL ZONING IS 0.5 FOOT CANDLES.
 - THE MAXIMUM ILLUMINATION AT THE EDGE OF THE PROPERTY LINE ADJACENT TO NONRESIDENTIAL ZONING IS 5.0 FOOT CANDLES.
 - THE MAXIMUM ILLUMINATION AT THE EDGE OF THE PROPERTY LINE ADJACENT TO A STREET IS 5.0 FOOT CANDLES.
 - THE LEVEL OF ILLUMINATION AS MEASURED IN FOOT CANDLES AT ANY ONE POINT SHALL MEET THE STANDARDS IN THE TABLE IN UDO SECTION 7.4 WITH MINIMUM AND MAXIMUM LEVELS MEASURED ON THE PAVEMENT WITHIN THE LIGHTED AREA.
 - THE MAXIMUM HEIGHT FOR DIRECTIONAL OR FULL CUT-OFF LIGHTING FIXTURES (FIXTURES DESIGNED TO INSURE THAT NO LIGHT IS EMITTED ABOVE A HORIZONTAL LINE PARALLEL TO THE GROUND) SHALL BE 30 FEET ABOVE GRADE, MEASURED TO THE TOP OF THE FIXTURE.
 - THE MAXIMUM HEIGHT FOR NON-DIRECTIONAL LIGHTING FIXTURES, WHICH ARE DEFINED AS FIXTURES DESIGNED TO ALLOW LIGHT TO BE EMITTED ABOVE A HORIZONTAL LINE PARALLEL TO THE GROUND, SHALL BE 15 FEET ABOVE GRADE, MEASURED TO THE TOP OF THE FIXTURE.
 - THESE STANDARDS MUST BE VERIFIED BY FIELD SURVEY (BY USE OF PHOTOMETRIC SURVEY) PRIOR TO THE CERTIFICATE OF COMPLIANCE BEING ISSUED. ALL OF THIS INFORMATION, INCLUDING DETAILS, WILL BE REQUIRED ON BUILDING PLANS PRIOR TO ISSUANCE OF BUILDING PERMIT.
- FIRE NOTES:**
 - TEMPORARY OR PERMANENT ROADWAYS OF ALL WEATHER DRIVING SURFACE, CAPABLE OF SUPPORTING A 75,000 POUND VEHICLE WEIGHT, SHALL BE ESTABLISHED PRIOR TO THE COMMENCEMENT OF BUILDING CONSTRUCTION ACTIVITIES. THESE ROADWAYS SHALL BE EXTENDED WITH THE PROGRESS OF CONSTRUCTION SO THAT:
 - ALL POINTS AROUND THE PERIMETER OF A BUILDING UNDER CONSTRUCTION IS NO GREATER THAN 150 FEET TRAVEL DISTANCE FROM A ROADWAY.
 - FIRE DEPARTMENT CONNECTIONS (EFC), EITHER TEMPORARY OR PERMANENT, ARE NO GREATER THAN 100 FEET TRAVEL DISTANCE FROM A ROADWAY.
 - TEMPORARY WEATHER-RESISTANT STREET SIGNS OF STANDARD SIZE AND LETTERINGS SHALL BE PROVIDED AT THE INTERSECTIONS OF TEMPORARY OR PERMANENT ROADWAYS AND SHALL REMAIN IN PLACE UNTIL REPLACED BY PERMANENT SIGNS.
 - FIRE HYDRANTS, AS SHOWN ON THE APPROVED SITE PLAN, SHALL BE PLACED IN SERVICE AND MADE AVAILABLE TO THE FIRE DEPARTMENT AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON SITE. NO CONSTRUCTION FENCING OR OTHER BARRIERS ARE TO BE PLACED BETWEEN THE ROADWAY AND THE HYDRANTS. WITH MINIMUM 5 FEET WORKING CLEARANCE AROUND HYDRANTS, HYDRANT SERVICE SHALL BE EXTENDED WITH THE PROGRESS OF CONSTRUCTION SO THAT:
 - ALL POINTS AROUND THE PERIMETER OF A BUILDING UNDER CONSTRUCTION IS NO GREATER THAN 300 FEET TRAVEL DISTANCE FROM A HYDRANT.
 - FIRE DEPARTMENT CONNECTIONS (EFC), EITHER TEMPORARY OR PERMANENT, ARE NO GREATER THAN 50 FEET TRAVEL DISTANCE FROM A HYDRANT.
 - PROVIDE FIRE PLANS EXAMINER ONE COPY OF UTILITY CONSTRUCTION DRAWINGS, SHOWING UNDERGROUND PIPING LAYOUT AND ALL FIRE APPURTENANCES. PERMIT FOR INSTALLATION OF PRIVATE FIRE HYDRANT(S) MUST BE ISSUED BY FIRE PLANS EXAMINER PRIOR TO INSTALLATION OF SAID HYDRANTS.
 - GATES PLACED ACROSS FIRE APPARATUS ACCESS ROADWAYS:
 - CANNOT REDUCE ROADWAY WIDTH TO LESS THAN 20 FEET WIDE (14 FT. WIDTH FOR DIVIDED ROADWAYS)
 - MUST BE FIRE-ACTIVATED AND UL 325 LISTED IF ELECTRIC-OPERATED, OR MUST BE OPERABLE BY ONE PERSON IF MANUALLY-OPENED, WITH KEYBOX MOUNTED ON POST. A KNOX BOX IS AN APPROVED METHOD FOR THIS.
 - AUTOMATIC GATES MUST MEET ASTM F2200 REQUIREMENTS

FOR COUNTY SOIL AND EROSION CONTROL:

- IF MORE THAN 12,000 SQ. FT. IS DISTURBED A LAND-DISTURBING PERMIT WILL BE REQUIRED PRIOR TO THE COMMENCEMENT OF ANY LAND-DISTURBING ACTIVITIES.
- IF MORE THAN 20,000 SQ. FT. IS DISTURBED, A SEDIMENTATION AND EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED PRIOR TO THE ISSUANCE OF A LAND-DISTURBANCE PERMIT.
- TREE PROTECTION FENCE IS REQUIRED BY THE CITY/COUNTY. TREE PROTECTION FENCE CERTIFICATION MUST BE SUBMITTED TO THE DURHAM COUNTY EROSION CONTROL DIVISION, AND TREE PROTECTION INSPECTION COMPLETED PRIOR TO LAND-DISTURBANCE PERMIT ISSUANCE.
- IF AN OFFSITE SPOIL OR BORROW SITE IS UTILIZED, THE DISTURBED AREA MUST BE INCLUDED IN THE LAND DISTURBANCE PLAN AND PERMIT UNLESS ALREADY PERMITTED.
- IF THE DISTURBED AREA EXCEEDS FIVE ACRES, AN IMPROVEMENT SECURITY WILL BE REQUIRED PRIOR TO LAND-DISTURBING PERMIT ISSUANCE.

FOR COMMERCIAL PROJECTS WANTING TO RECEIVE CURBSIDE COLLECTION INSTEAD OF DUMPSTERS:

- GARBAGE VOLUME IS NOT EXPECTED TO EXCEED THE CAPACITY OF FOUR 96-GALLON CARTS PER WEEK. ALL TARGET (BANNED) RECYCLABLES WILL BE SEPARATED FROM GARBAGE AND PLACED IN CITY RECYCLE BINS. A WASTE HANDLING FACILITY MUST BE CONSTRUCTED AT THE OWNER'S EXPENSE AT THE LOCATION DESIGNATED ON THE PLANS IN COMPLIANCE WITH ORDINANCE AND SWM STANDARDS SHOULD GARBAGE EXCEED THE FOUR-CART CAPACITY UNIT.
- THE SITE CURRENTLY RECEIVES CURBSIDE PICKUP. ROLL OUT CARTS SHALL BE HOUSED INTERNALLY AND TAKEN OUT TO THE STREET ON DAYS OF PICK UP.
 - THE DUMPSTER IS IN ADDITION TO CITY TRASH AND RECYCLING ROLL OUT SERVICE. THE DUMPSTER SHALL BE FOR METAL RECYCLING AND UTILIZE PRIVATE SERVICES.

PUBLIC WORKS CONDITIONS OF APPROVAL:

- THE DESIGNING PROFESSIONAL (A NCPLE, NCPLS OR NCPLA - AS REQUIRED) SHALL SUBMIT THREE (3) SETS OF CONSTRUCTION DRAWINGS TO THE PUBLIC WORKS DEPARTMENT - DEVELOPMENT REVIEW FOR REVIEW AND APPROVAL. CONSTRUCTION DRAWING APPROVAL IS REQUIRED PRIOR TO COMMENCING CONSTRUCTION (SEE CONSTRUCTION PLAN APPROVAL PROCESS). THE APPROVAL OF CONSTRUCTION DRAWINGS IS SEPARATE FROM SITE PLAN APPROVAL. CITY OFFICIALS SHALL REVIEW ALL SIZES, MATERIALS, SLOPES, LOCATIONS, EXTENSIONS AND DEPTHS FOR ALL PROPOSED UTILITIES (WATERLINES, SANITARY SEWER LINES AND STORM DRAINAGE CONVEYANCE SYSTEMS) FOR COMPLIANCE WITH ALL APPLICABLE REGULATORY STANDARDS, SPECIFICATIONS, AND BEST MANAGEMENT PRACTICES.
- THE DESIGNING PROFESSIONAL (A NCPLE, NCPLS OR NCPLA - AS REQUIRED) SHALL SUBMIT ONE (1) SET OF AS-BUILT DRAWINGS TO THE PUBLIC WORKS DEPARTMENT - DEVELOPMENT REVIEW FOR REVIEW AND APPROVAL. AS-BUILT DRAWING APPROVAL IS REQUIRED PRIOR TO WATER METER INSTALLATION AND/OR SANITARY SEWER SERVICE CONNECTION AND PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- FIRE FLOW ANALYSIS REQUIRED FOR REVIEW AND APPROVAL. AS PART OF THE CONSTRUCTION DRAWING APPROVAL PROCESS, TO SCHEDULE FLOW TEST OR TO OBTAIN CURRENT SYSTEM DATA, COMPLETE THE ONLINE APPLICATION ([HTTP://CCONNETX.DURHAMNC.GOV/SITES/PUBLICWORKS/STEPS/PAGES/RESIZEFLOWWZ0208QUEST.ASPX](http://cconnetx.durhamnc.gov/sites/publicworks/steps/pages/resizeflowwz0208quest.aspx)).
- WHEN OFFSITE WATER AND SEWER IMPROVEMENTS ARE PROPOSED:
 - A UTILITY EXTENSION AGREEMENT IS REQUIRED PRIOR TO APPROVAL OF THE CONSTRUCTION DRAWINGS. SUBMIT A UTILITY EXTENSION AGREEMENT APPLICATION TO ENGINEERING PUBLIC WORKS ([HTTP://DURHAMNC.GOV/DOCUMENTCENTER/HOME/VIEW/3313](http://durhamnc.gov/documentcenter/home/view/3313)).
 - WHEN SIDEWALK AND CURB RAMPS ARE PROPOSED:
 - PROWAG STANDARDS ARE TO BE USED. SEE CITY OF DURHAM CURB CUTS DETAILS [HTTP://DURHAMNC.GOV/DOCUMENTCENTER/HOME/VIEW/2314](http://durhamnc.gov/documentcenter/home/view/2314).
 - FOR RAMPS IN "TIGHT" EXISTING DEVELOPED AREAS WITH SMALL ROW'S (DOWNTOWN, ETC) IT IS RECOMMENDED SPECIFIC RAMP DETAILS ARE NEEDED TO PREVENT CONSTRUCTION DELAYS. THE BURDEN TO MAKE IT WORK IS ON THE DESIGNING ENGINEER.
- WATER PERMIT REQUIRED AFTER CONSTRUCTION DRAWING APPROVAL AND PRIOR TO COMMENCING WATER MAIN INSTALLATION.
- SIDEWALK NOTE:** THE LOCATION OF THE SIDEWALKS SHOWN ON THIS PLAN IS SCHEMATIC. A CITY OF DURHAM AND/OR NCDOT ENCROACHMENT PERMIT IS REQUIRED PRIOR TO ANY CONSTRUCTION. AFTER OBTAINING THE REQUIRED PERMITS, PLEASE CONTACT THE CITY OF DURHAM ENGINEERING CONSTRUCTION INSPECTION OFFICE AT 560-4326 FOR A PRE-CONSTRUCTION CONFERENCE AND FIELD VISIT PRIOR TO ANY WORK ON THE PROPOSED SIDEWALK.
- DRIVEWAY PERMIT NOTES:**

NCDOT DRIVEWAY PERMIT REQUIRED PRIOR TO CONSTRUCTION. CONTACT NCDOT AT 220-4750 FOR REQUIREMENTS.
- UTILITY NOTES:** A UTILITY MAINLINE CONSTRUCTION PERMIT IS REQUIRED PRIOR TO THE INSTALLATION OF EACH UTILITY. ALL UTILITIES SHALL SUBMIT PLAN DRAWINGS AND APPLICATIONS TO THE CITY ENGINEERING DIVISION.
- WATER, SANITARY SEWER AND STORM SEWER HORIZONTAL AND VERTICAL SEPARATION NOTES:**
 - SANITARY SEWERS SHALL BE Laid AT LEAST 10 FEET HORIZONTALLY FROM PROPOSED WATER MAIN. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE. IN CASES WHERE IT IS NOT PRACTICAL TO MAINTAIN A 10-FOOT SEPARATION, THE CITY OF DURHAM MAY ALLOW DEVIATION ON A CASE-BY-CASE BASIS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER. SUCH DEVIATION ON MAY ALLOW THE INSTALLATION OF THE SANITARY SEWER CLOSER TO A WATER MAIN, PROVIDED THAT THE WATER MAIN IS IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SANITARY SEWER AND AT AN ELEVATION SO THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
 - IF IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS DESCRIBED ABOVE OR ANYTIME THE SANITARY SEWER IS OVER THE WATER MAIN, BOTH THE WATER MAIN AND SANITARY SEWER MUST BE CONSTRUCTED OF FERROUS PIPE COMPLYING WITH THE PUBLIC WATER SUPPLY DESIGN STANDARDS AND BE PRESSURE TESTED TO 150 PSI TO ASSURE WATER TIGHTNESS BEFORE BACKFILLING.
 - A 24-INCH VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND SANITARY SEWER LINES OR FERROUS PIPE SPECIFIED. A 12-INCH VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND WATER MAINS.
 - IF A 12-INCH VERTICAL SEPARATION IS NOT MAINTAINED AT A CROSSING BETWEEN STORM SEWER AND WATER MAINS (OR PRESSURE SEWERS), THE WATER MAIN SHALL BE CONSTRUCTED OF FERROUS PIPE AND A CONCRETE COLLAR SHALL BE POURED AROUND WATER MAINS AND STORM SEWER TO IMMOBILIZE THE CROSSING.

10. IF A BACKFLOW PREVENTER IS PROPOSED OR REQUIRED A BACKFLOW PREVENTER PERMIT SHALL BE OBTAINED PRIOR TO BEGINNING INSTALLATION. CONTACT THE CROSS-CONNECTION CONTROL OFFICE AT 560-4194 AND REFER TO [HTTP://DURHAMNC.GOV/952/BACKFLOW-PREVENTION](http://durhamnc.gov/952/backflow-prevention).

STORMWATER SERVICE DIVISION NOTES:

- AT A MINIMUM, THE STORMWATER DESIGN DETAILS FOR THIS PROJECT SHALL BE GOVERNED BY THE MINIMUM STANDARDS OF THE MOST RECENT EDITION OF THE CITY OF DURHAM (CITY) REFERENCE GUIDE FOR DEVELOPMENT (RGD) AND ANY LETTERS TO INDUSTRY (POSTED ON THE CITY'S WEBSITE) THAT ARE IN EFFECT THE DATE CONSTRUCTION DRAWINGS ARE FIRST RECEIVED FOR REVIEW BY THE CITY.
- FINAL DESIGN CALCULATIONS FOR THE STORMWATER CONTROL MEASURE(S) [SCM(S)] REQUIRE THE USE OF STORAGE INDICATION ROUTING METHODOLOGY SUCH AS TR-20 OR HEC-1 MODELS. FOR EACH SCM, AS APPLICABLE, STAGE STORAGE RELATIONSHIP AND INFLOW AND OUTFLOW HYDROGRAPHS ARE REQUIRED. ALL TABULATED DATA INCLUDING CALCULATIONS SHOWING THE LIMITING DISCHARGE, WHETHER ORIFICE, WEIR, BARRIS, OR OUTLET CONTROL, AS APPROPRIATE IS REQUIRED. HYDROCAD, HYDRAFLOW HYDROGRAPHS, AND PONDPACK ARE COMMONLY USED AND RECOGNIZED SOFTWARE PROGRAMS WHICH INCORPORATE ROUTING METHODOLOGY ACCEPTED BY THE CITY.
- STORMWATER CONTROL MEASURE(S) [SCM(S)] PERMIT FEES, THE EXECUTED STORMWATER FACILITY AGREEMENT AND COVENANTS (PREPARED BY THE CITY OF DURHAM STORMWATER DEVELOPMENT REVIEW SECTION) AND EITHER A PAYMENT INTO THE STORMWATER REPLACEMENT FUND OR THE PROVISION OF AN ALTERNATE SECURITY FOR ALL SCM(S) ASSOCIATED WITH THIS DEVELOPMENT. CONSTRUCTION OF THE DEVELOPMENT IS NOT ALLOWED TO COMMENCE UNTIL THESE ITEMS ARE PROVIDED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OUTLINED IN THE STORMWATER FACILITY AGREEMENT AND COVENANTS OR IN ACCORDANCE WITH WRITTEN POLICY. THE DESIGNER SHALL SUBMIT A SEALED ENGINEER'S CONSTRUCTION COST ESTIMATE FOR EVERY SCM PROPOSED IN THE DEVELOPMENT PRIOR TO APPROVAL OF THE CONSTRUCTION DRAWINGS IF A FINANCIAL GUARANTEE IN THE FORM OF PAYMENT INTO THE STORMWATER REPLACEMENT FUND IS UTILIZED.
- AN AS-BUILT CERTIFICATION FOR THE STORMWATER CONTROL MEASURE(S) [SCM(S)], PROVIDED BY THE BMP CERTIFYING ENGINEER (BCE), IS REQUIRED. THE AS-BUILT CERTIFICATION SHALL BE SUBMITTED IN ACCORDANCE WITH THE CITY OF DURHAM BCE PROGRAM, REFER TO SECTION 8.6, BMP CERTIFYING ENGINEER PROGRAM FOR STORMWATER BMPS IN THE CITY OF DURHAM, OF THE REFERENCE GUIDE FOR DEVELOPMENT. THE SCM AS-BUILT CERTIFICATION(S) SHALL BE APPROVED BY THE STORMWATER DEVELOPMENT REVIEW SECTION PRIOR TO ISSUANCE OF ANY FINAL CERTIFICATE OF OCCUPANCY/COMPLIANCE FOR DEVELOPMENT, WITH THE EXCEPTION OF WHEN AN APPROPRIATE CONSTRUCTION SECURITY HAS BEEN PROVIDED FOR SINGLE FAMILY OR TOWNHOME DEVELOPMENT. WITH THIS PROVIDED CONSTRUCTION SECURITY, CERTIFICATES OF OCCUPANCY/COMPLIANCE CAN BE ISSUED FOR A PERCENTAGE OF SINGLE FAMILY LOTS IN ACCORDANCE WITH CITY REQUIREMENTS.
- STORMWATER CONTROL MEASURE(S) [SCM(S)] DESIGN CALCULATIONS WILL NOT BE REVIEWED OR APPROVED WITH THE SITE PLAN/PRELIMINARY PLAT SUBMITTAL. ALL SCM DESIGNS WILL BE REVIEWED AND APPROVED DURING THE CONSTRUCTION DRAWING SUBMITTAL PROCESS. IF, AT THE TIME OF CONSTRUCTION DRAWING SUBMITTAL, IT IS FOUND THAT THE PROPOSED SCM(S) IS UNDERSTOOD, NOT PROPERLY ACCESSIBLE, OR OTHERWISE INSUFFICIENT OR UNSUITABLE FOR THE SITE, IT IS THE RESPONSIBILITY OF THE APPLICANT TO INSURE THAT THE APPLICABLE STORMWATER ORDINANCE REQUIREMENTS ARE MET. A REVISED SITE PLAN OR PRELIMINARY PLAT MAY BE REQUIRED IF THE ORIGINALLY PROPOSED SCM(S) ARE FOUND INSUFFICIENT, NOT PROPERLY ACCESSIBLE, OR UNSUITABLE AND ALTERNATIVE SCM(S) WITH ASSOCIATED EASEMENTS ARE REQUIRED.
- THE DEVELOPER/CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE STORMWATER DEVELOPMENT REVIEW SECTION PRIOR TO COMMENCING WORK ON ANY STORMWATER CONTROL MEASURE [SCM]. IF THE SCM WILL BE CONSTRUCTED INITIALLY AS A SEDIMENTATION AND EROSION CONTROL (S&EC) DEVICE, TO BE CONVERTED TO A PERMANENT SCM AT A LATER TIME, THE PRE-CONSTRUCTION MEETING SHOULD BE SCHEDULED PRIOR TO CONSTRUCTION OF THE S&EC DEVICE. CALL 919-560-4326 EXT. 30238 TO SCHEDULE THE REQUIRED MEETING A MINIMUM OF THREE BUSINESS DAYS PRIOR TO THE DESIRED MEETING DATE. THIS IS IN ADDITION TO OTHER PRE-CONSTRUCTION MEETING REQUIREMENTS FOR EROSION CONTROL, ENGINEERING INSPECTIONS, ETC.
- TO RECEIVE SITE PLAN/PRELIMINARY PLAT APPROVAL FOR DEVELOPMENTS OTHER THAN SINGLE FAMILY DETACHED, TOWNHOME AND DUPLEX RESIDENTIAL DEVELOPMENTS THAT ARE MAKING USE OF NUTRIENT BANKS OR NCEP, THE APPROVAL OF THE SITE PLAN/PRELIMINARY PLAT IS CONTINGENT UPON THE PURCHASE OF NUTRIENT CREDITS. IF A REVISED SITE PLAN/PRELIMINARY PLAT IS SUBMITTED FOR THIS DEVELOPMENT, THE REVISED SITE PLAN/PRELIMINARY PLAT WILL BE SUBJECT TO ANY ORDINANCES IN PLACE AT THE TIME OF THE REVISED SITE PLAN/PRELIMINARY PLAT SUBMISSION. PRIOR TO THE APPROVAL OF THE SITE PLAN/PRELIMINARY PLAT, A LETTER/RECEIPT SHOWING THE PURCHASE OF THE NUTRIENT CREDITS FOR THIS DEVELOPMENT AND A COPY OF THE NUTRIENT BANK LEDGER IF APPLICABLE, SHOWING THE TOTAL NUTRIENT CREDITS AVAILABLE MINUS ANY AND ALL DEDUCTIONS, IS TO BE PROVIDED TO THE STORMWATER DEVELOPMENT REVIEW SECTION.
- THE CITY OF DURHAM AND THEIR ASSIGNS HAVE RIGHT OF ACCESS TO THE PERMANENT STORMWATER CONTROL MEASURE(S) (SAND FILTER) FOR INSPECTIONS AND MAINTENANCE ENFORCEMENT. A BLANKET EASEMENT TO OVER AND AROUND THE STORMWATER CONTROL MEASURE IS HEREBY GRANTED FOR INSPECTIONS AS WELL AS ENFORCEMENT OF OPERATION & MAINTENANCE. ANY OBSTRUCTION PLACED IN THE BLANKET EASEMENT THAT IMPEDES NECESSARY MAINTENANCE MEASURES WILL BE REMOVED AND ALL THE ASSOCIATED COSTS WILL BE BORNE SOLELY BY THE OWNER.

SPECIAL CONDITIONS OF APPROVAL:

- PRIOR TO ISSUANCE OF A BUILDING PERMIT:
- A RECOMMENDATION PLAT SHALL BE RECORDED.
 - A PLAT IDENTIFYING THE LOCATION OF STORMWATER EASEMENTS SHALL BE RECORDED.

TEXT COMMITMENTS

- DEVELOPMENT SHALL BE LIMITED TO SELF-STORAGE FACILITIES.
- NEW BUILDINGS SHALL BE LIMITED TO 2 STORIES.

DESIGN COMMITMENTS

- DESCRIPTION OF PROPOSED ARCHITECTURE:**

GENERAL ARCHITECTURAL STYLE:

THE PROPOSED BUILDING WILL BE CONTEMPORARY IN STYLE.

PROPOSED ROOFLINES:

FLAT AND/OR SLOPED ROOFS SHALL BE USED SINGLY OR IN COMBINATION.

PROPOSED BUILDING MATERIALS:

THE PRIMARY BUILDING MATERIALS TO BE USED SHALL BE A CHOICE OR ANY COMBINATION OF METAL, STUCCO, BRICK, BLOCK, STONE, EPS, VINYL, AND/OR FIBER CEMENT BOARD / CEMENTitious CLADDING.

DISTINCTIVE ARCHITECTURAL FEATURES:

ARCHITECTURAL TOWER AT CORNER OF BUILDING SHALL HAVE A PYRAMID HP ROOF.

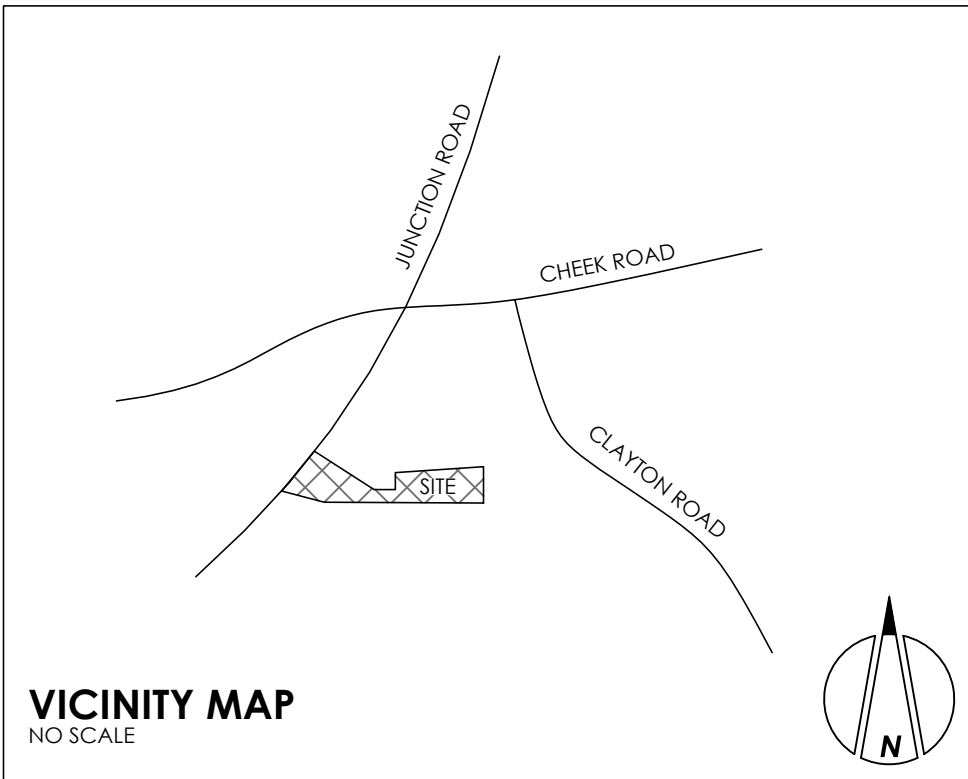
- DESCRIPTION OF HOW PROPOSED DESIGN WILL FIT INTO THE CONTEXT AREA:**

HOW WILL THE PROPOSED DESIGN, INCLUDING TRANSITION TO ON AND OFF SITE DEVELOPMENT, FIT INTO THE CONTEXT AREA?

NEW BUILDINGS WILL PROVIDE A CONTRIBUITY BETWEEN THE EXISTING FACILITY AND THE EXPANSION WITH REGARD TO MATERIALS, ARCHITECTURAL STYLE AND MATERIALS, AND ROOFLINE.

PIN: 0842-60-00-2576
PID: 168325

PIN: 0842-60-71-1316
PID: 168324



DEVELOPMENT SUMMARY:

SITE SUMMARY	
PID 168324:	266,739 SF (6.12 AC)
PID 168325:	45,926 SF (1.01 AC)
GROSS LAND AREA:	310,668 SF (7.13 AC)
AREA OF DISTURBANCE:	179,250 SF (4.12 AC)
EXISTING ZONING:	ILDJ
EXISTING USE:	SELF STORAGE
PROPOSED USE:	SELF STORAGE
WATERSHED PROTECTION OVERLAY:	F/I-B
RIVER BASIN:	NEUSE
CITY LIMIT:	INSIDE
TIER:	SUBURBAN

LOT SUMMARY	
MAXIMUM BUILDING HEIGHT:	50'
MAXIMUM BUILDING COVERAGE:	60% (186,395 SF)
MINIMUM LOT WIDTH:	100'
MINIMUM LOT SIZE:	25,000 SF
STREET YARD SETBACK:	40'
SIDE SETBACK:	30'
REAR SETBACK:	25'

BUILDING SUMMARY	
EXISTING BUILDING AREA:	24,000 SF
PROPOSED BUILDING AREA:	66,000 SF
TOTAL PROPOSED BUILDING AREA:	90,000 SF
EXISTING STORAGE UNITS:	775
PROPOSED STORAGE UNITS:	536
TOTAL STORAGE UNITS:	1,311

PARKING SUMMARY	
MAXIMUM NUMBER OF SELF STORAGE UNITS BASED ON PROVIDED PARKING:	1,349 UNITS
REQUIRED STORAGE PARKING:	1,100 UNITS = 1,311 UNITS - 13 SPACES

HC VAN ACCESSIBLE PARKING PROVIDED:	2 SPACES
STANDARD PARKING PROVIDED BY PLAT:	2 SPACES
STANDARD PARKING REQUIRED (MIN. 4%):	53 SPACES

BIKE PARKING (MIN. 2 REQUIRED):	1/750 Units = 2 SPACES
---------------------------------	------------------------

IMPERVIOUS SUMMARY

TOTAL AREA:	910,657 SF (7.13 AC)
MAXIMUM ALLOWABLE IMPERVIOUS AREA:	217,460 SF (4.99 AC) (70.00%)
EXISTING IMPERVIOUS AREA:	78,052 SF (1.79 AC) (25.12%)
PROPOSED IMPERVIOUS AREA:	78,198 SF (1.80 AC) (25.17%)
ROOF:	37,851 SF (0.87 AC) (12.16%)
PARKING/DRIVEWAY/SIDEWALK:	40,347 SF (0.93 AC) (12.99%)
RESERVE:	2,000 SF (0.05 AC) (0.64%)
TOTAL IMPERVIOUS AREA:	158,245 SF (3.63 AC) (50.74%)

TREE COVERAGE SUMMARY

REQUIRED TREE COVERAGE:	31,044 SF (10.00%)
PROPOSED TREE COVERAGE:	31,758 SF (10.22%)

APPROVAL STAMP



HORVATH ASSOCIATES

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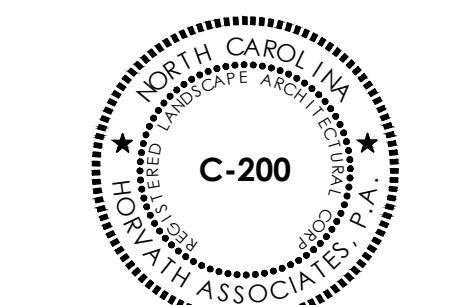
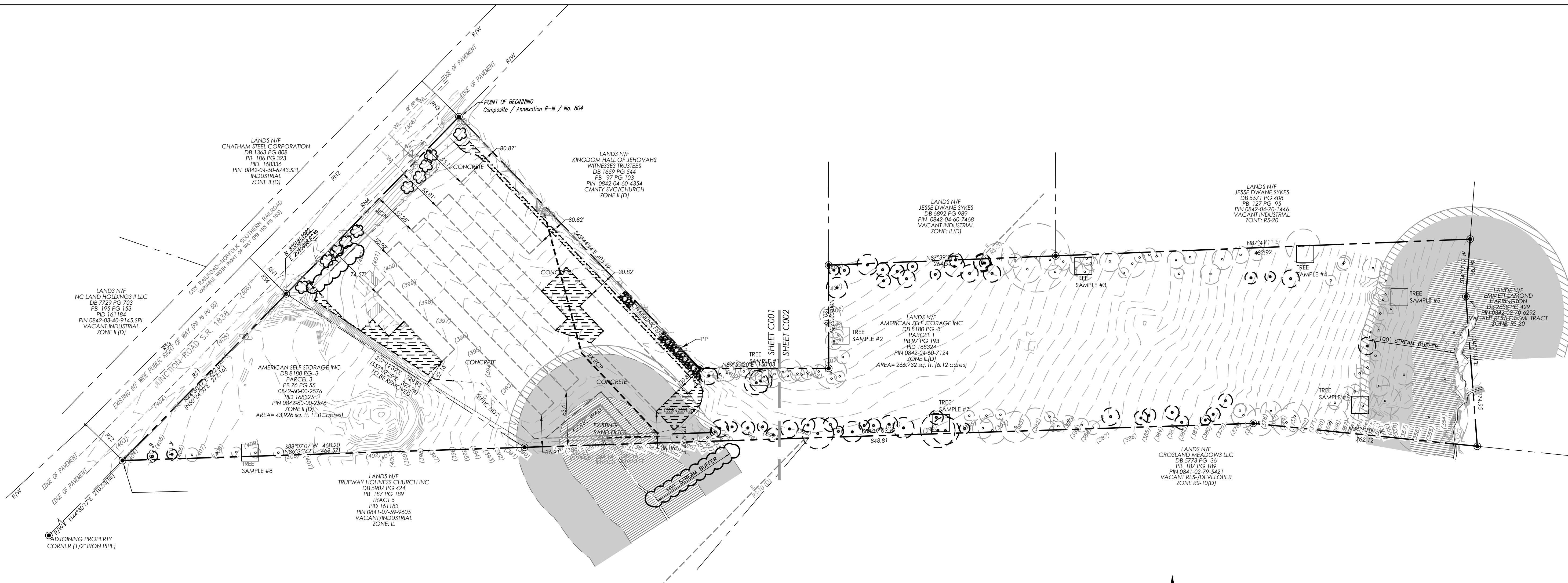
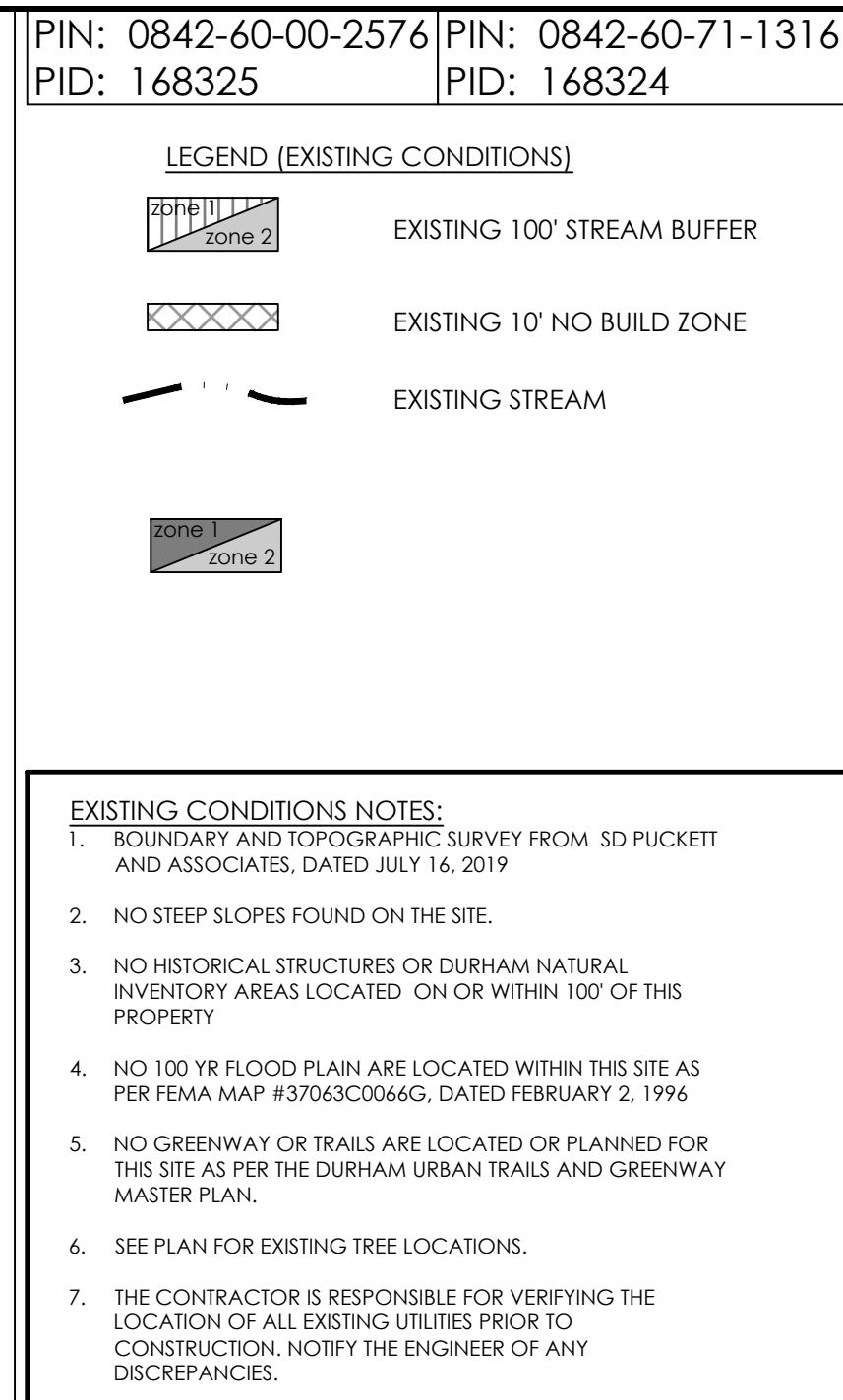
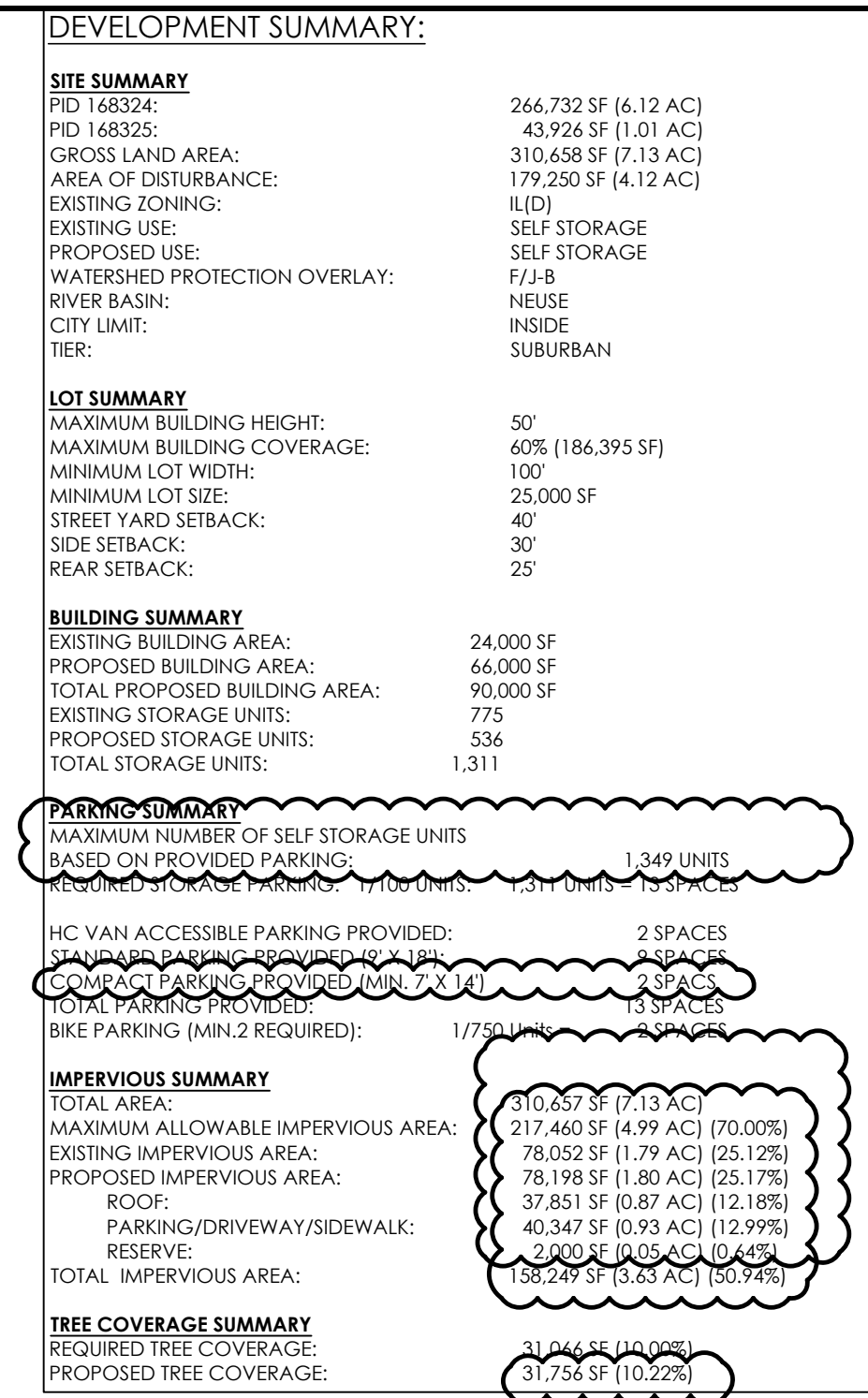
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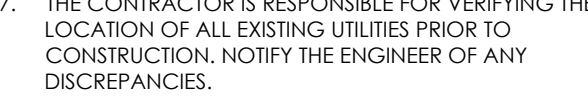
DRAWN BY:	CHECKED BY:
RV	RV
DATE	07-26-2019
SCALE	AS NOTED
PROJECT NO.	1811
SHEET NO.	

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SITE PLAN

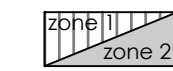
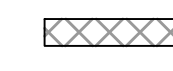



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RV	RV
DATE	
07-26-2019	
SCALE	
AS NOTED	
PROJECT NO.	
1811	
SHEET NO.	



SITE PLAN

LEGEND (EXISTING CONDITIONS)

- zone 2
- EXISTING 100' STREAM BUFFER
- 
- EXISTING 10' NO BUILD ZONE
- 
- EXISTING STREAM

EXISTING CONDITIONS NOTES:

- BOUNDARY AND TOPOGRAPHIC SURVEY FROM SD PUCKETT AND ASSOCIATES, DATED JULY 16, 2019
- NO STEEP SLOPES FOUND ON THE SITE.
- NO HISTORICAL STRUCTURES OR DURHAM NATURAL INVENTORY AREAS LOCATED ON OR WITHIN 100' OF THIS PROPERTY
- NO 100 YR FLOOD PLAIN ARE LOCATED WITHIN THIS SITE AS PER FEMA MAP #37043C0066G, DATED FEBRUARY 2, 1996
- NO GREENWAY OR TRAILS ARE LOCATED OR PLANNED FOR THIS SITE AS PER THE DURHAM URBAN TRAILS AND GREENWAY MASTER PLAN.
- SEE PLAN FOR EXISTING TREE LOCATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.



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ASSOCIATES

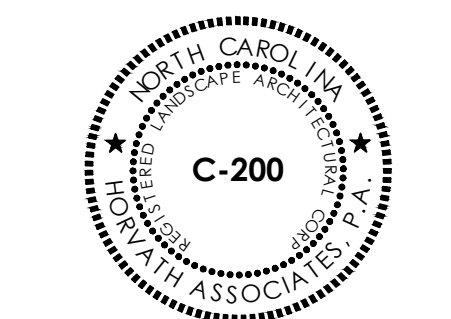
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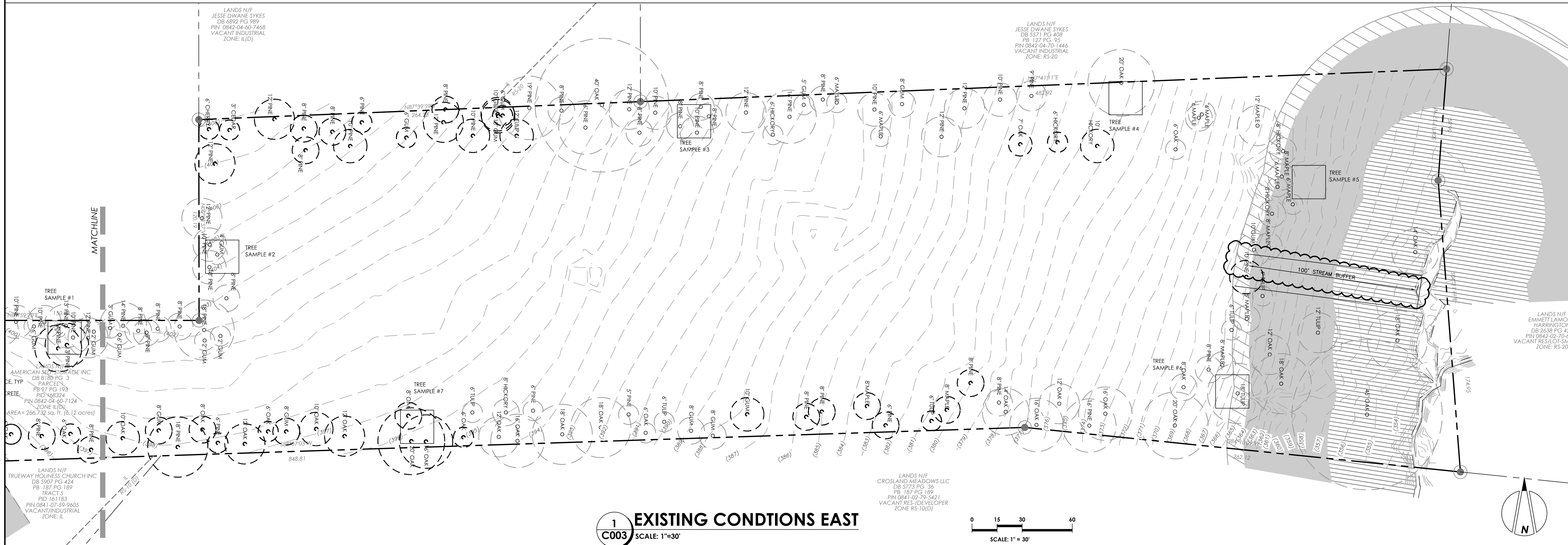
**EXISTING
CONDITIONS
EAST**

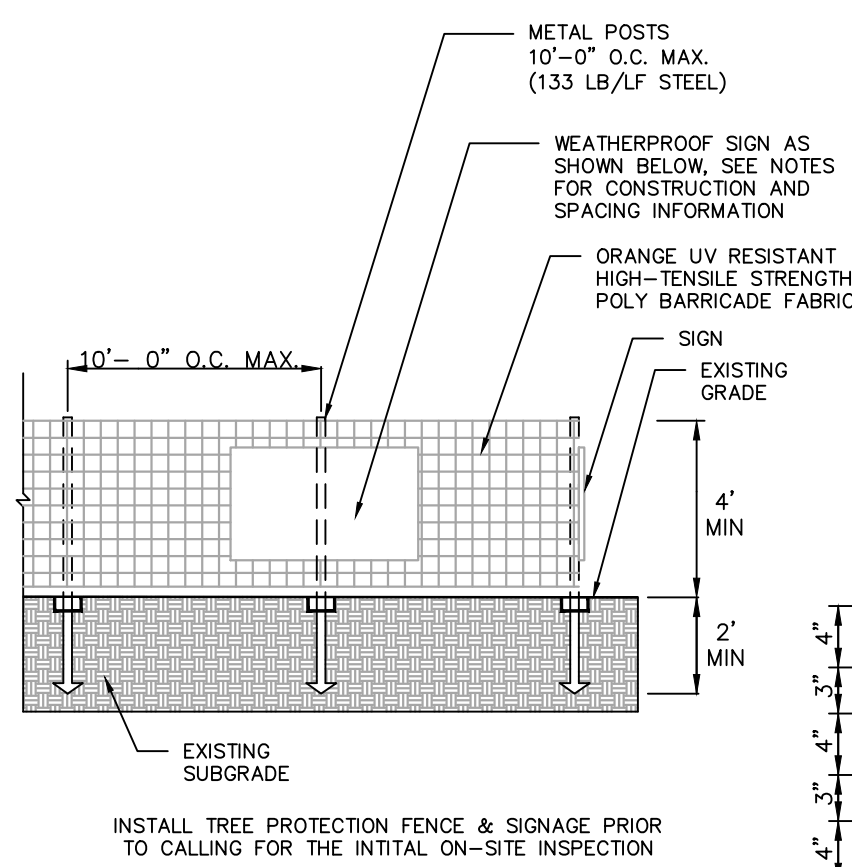


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RV	RV
DATE	07-26-2019
SCALE	AS NOTED
PROJECT NO.	1811
SHEET NO.	

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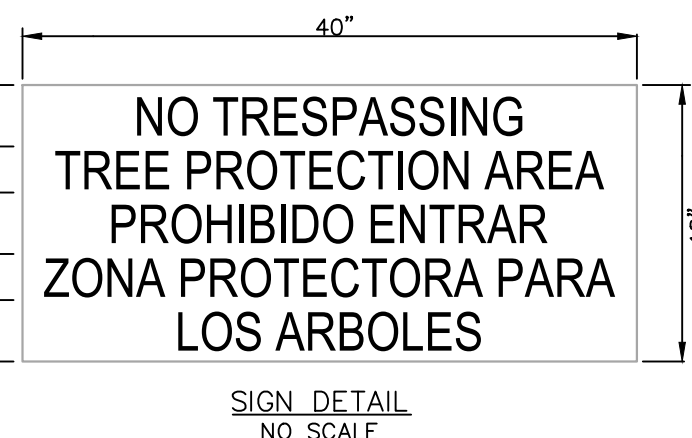
SITE PLAN





2
C100 TREE PROTECTION FENCE
SCALE: N.T.S.

- TREE PROTECTION NOTES:**
1. WARNING SIGNS SHALL BE MADE OF DURABLE WEATHERPROOF MATERIAL.
 2. LETTERS SHALL BE 3" HIGH MINIMUM, CLEARLY LEGIBLE, AND SPACED AS SHOWN.
 3. SIGNS ARE TO BE PLACED NO GREATER THAN 100 FT. ON CENTER.
 4. PLACE SIGN AT EACH END OF LINEAR TREE PROTECTION AREAS AND 100 FT. ON-CENTER THEREAFTER.
 5. FOR TREE PROTECTION AREAS LESS THAN 100 FT. IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER AREA.
 6. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
 7. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF THE PROJECT.
 8. ADDITIONAL SIGNS MAY BE REQUIRED BASED ON ACTUAL FIELD CONDITIONS.
 9. BOTH ENGLISH AND SPANISH SHALL BE USED FOR THE SIGNS.



SIGN DETAIL
NO SCALE

NOTE:
NOTE TO THE SITE PLAN: "THE WORK TAKING PLACE RELATED TO THE CHANGES IN THIS SITE PLAN WILL BE FULLY COMPLIANT WITH THE NORTH CAROLINA ACCESSIBILITY CODES (ANSI 117.1-2009 AND CHAPTER 11 OF THE NCBC) UNLESS AND EXCEPT IN AREAS WHERE AN APPROVED STATEMENT FROM A SITE ENGINEER, SURVEYOR OR ARCHITECT VERIFIES THAT SITE CONDITIONS EXIST WHERE THE TOPOGRAPHY OF THE SITE IS EXTREME AND ONLY ALTERNATE METHODS OF COMPLIANCE ARE POSSIBLE. AN ANALYSIS AND CERTIFICATION OF THE SITE, PERFORMED BY THE DESIGN PROFESSIONAL OR DESIGNER, MUST BE SUBMITTED TO THE BUILDING INSPECTIONS DEPARTMENT CERTIFYING THAT ALL SITE ACCESSIBILITY CODE REQUIREMENTS SUCH AS CURB CUTS, RAMP SLOPES, SIDEWALK SLOPES AND WIDTHS, AND CROSS SLOPES MEET THE REQUIREMENTS OF THE NC ACCESSIBILITY CODE PRIOR TO GO ISSUANCE."

LEGEND (PROPOSED CONDITIONS)

- LD LIMITS OF DISTURBANCE
- LD TREE PROTECTION FENCE
- Tree Save Area (TC)
- Tree Replacement Area (TC)
- EXISTING STREAM BUFFER
- 10' NO BUILD ZONE
- PERENNIAL STREAM

PIN: 0842-60-00-2576
PID: 168325

PIN: 0842-60-71-1316
PID: 168324

SITE CALLOUTS

- (A1) 24" STANDING CURB
- (C1) 5' CONCRETE SIDEWALK
- (D) FIRE TURN-AROUND
- (F1) HANDICAP RAMP
- (F2) HANDICAP SIGN
- (F3) HANDICAP PARKING AREA
- (G) LIGHT POLE
- (H) BIKE RACK(S)
- (I) WALL PACK LIGHT
- (J) BOLLARD
- (K) 8' FENCE
- (L) RETAINING WALL
- (N1) 10' X 70' SIGHT TRIANGLE
- (P) STORM DRAINAGE EASEMENT AND 2' BUILDING SETBACK
- (Q) TREE PROTECTION FENCE
- (R) DUMPSTER ENCLOSURE

DETAILS SHEET

- C.O.D. DETAIL 402.01
- C.O.D. DETAIL 402.02
- C.O.D. DETAIL 405.03
- DETAIL 2/C800
- DETAIL 6/C800
- DETAIL 1/C800
- DETAIL 8/C800
- DETAIL 2/C101
- DETAIL 11/C800

DEVELOPMENT SUMMARY:

SITE SUMMARY

PID 168324:	266,732 SF (6.12 AC)
PID 168325:	43,926 SF (1.01 AC)
GROSS LAND AREA:	310,658 SF (7.13 AC)
AREA OF DISTURBANCE:	179,250 SF (4.12 AC)
EXISTING ZONING:	IL(D)
EXISTING USE:	SELF STORAGE
PROPOSED USE:	SELF STORAGE
WATERSHED PROTECTION OVERLAY:	F/J-B
RIVER BASIN:	NEUSE
CITY LIMIT:	INSIDE
TIER:	SUBURBAN

LOT SUMMARY

MAXIMUM BUILDING HEIGHT:	50'
MAXIMUM BUILDING COVERAGE:	60% (186,395 SF)
MINIMUM LOT WIDTH:	100'
MINIMUM LOT SIZE:	25,000 SF
STREET YARD SETBACK:	40'
SIDE SETBACK:	30'
REAR SETBACK:	25'

BUILDING SUMMARY

EXISTING BUILDING AREA:	24,000 SF
PROPOSED BUILDING AREA:	66,000 SF
TOTAL PROPOSED BUILDING AREA:	90,000 SF
EXISTING STORAGE UNITS:	775
PROPOSED STORAGE UNITS:	536
TOTAL STORAGE UNITS:	1,311

PARKING SUMMARY

MAXIMUM NUMBER OF SELF STORAGE UNITS BASED ON PROVIDED PARKING:	1,349 UNITS
MAXIMUM NUMBER OF SELF STORAGE UNITS BASED ON PROVIDED PARKING:	1,349 UNITS

HC VAN ACCESSIBLE PARKING PROVIDED:

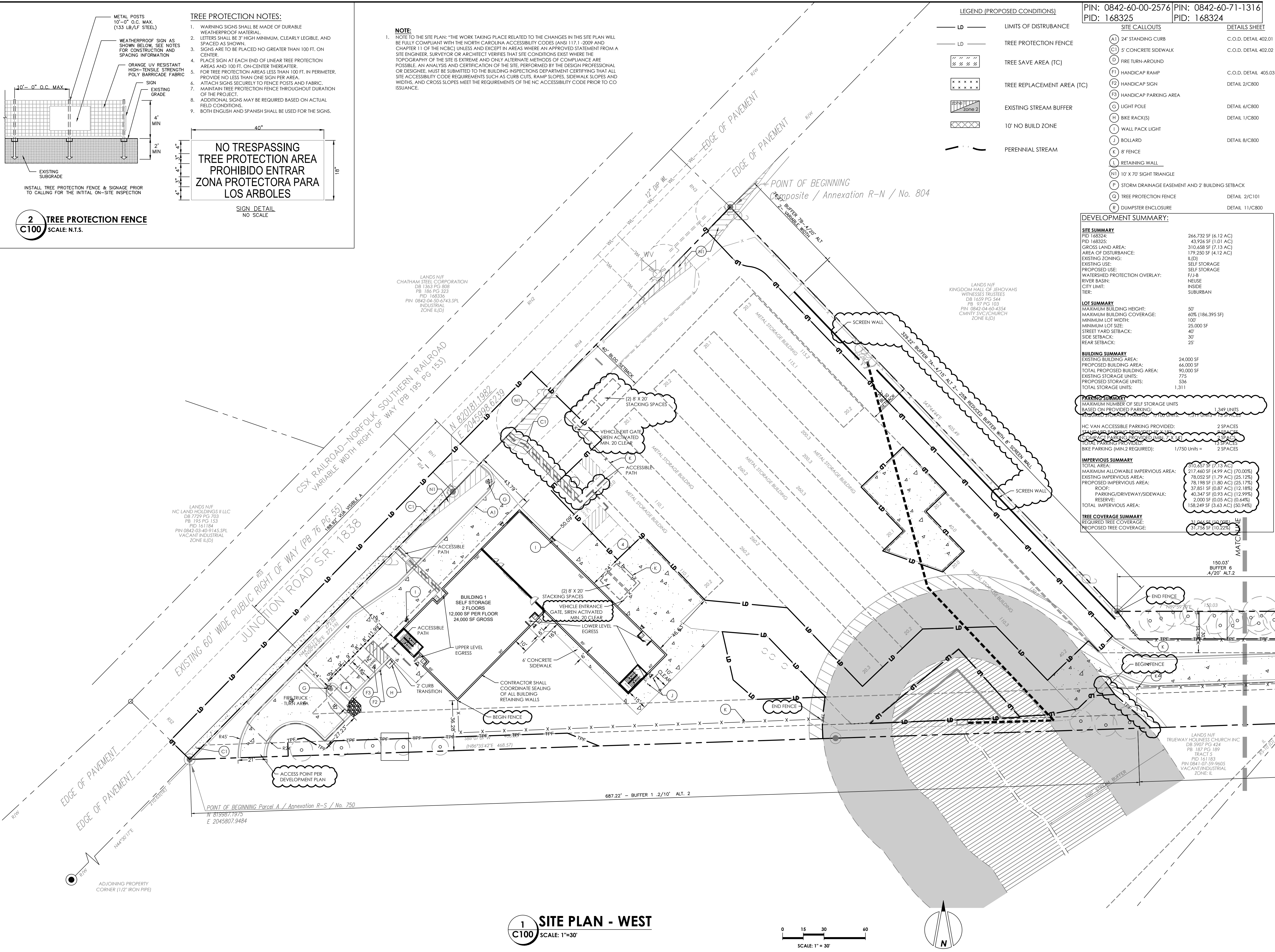
STANDARD PARKING PROVIDED (MIN. 2' X 8')	2 SPACES
CONTRACTOR PARKING PROVIDED (MIN. 12' X 18')	2 SPACES
TOTAL PARKING PROVIDED:	13 SPACES
BIKE PARKING (MIN. 2 REQUIRED):	1/750 Units = 2 SPACES

IMPERVIOUS SUMMARY

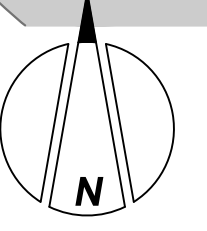
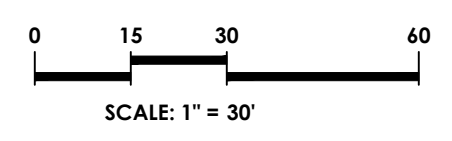
TOTAL AREA:	310,657 SF (7.13 AC)
MAXIMUM ALLOWABLE IMPERVIOUS AREA:	217,460 SF (4.99 AC) (70.00%)
EXISTING IMPERVIOUS AREA:	78,052 SF (1.79 AC) (25.12%)
PROPOSED IMPERVIOUS AREA:	78,198 SF (1.80 AC) (25.17%)
ROOF:	37,851 SF (0.87 AC) (12.18%)
PARKING/DRIVEWAY/SIDEWALK:	40,347 SF (0.93 AC) (12.99%)
RESERVE:	2,000 SF (0.05 AC) (0.64%)
TOTAL IMPERVIOUS AREA:	158,249 SF (3.63 AC) (50.94%)

TREE COVERAGE SUMMARY

REQUIRED TREE COVERAGE:	31,066 SF (0.71 AC)
PROPOSED TREE COVERAGE:	31,756 SF (0.72 AC)



1
C100 SITE PLAN - WEST
SCALE: 1"=30'



14 CONSULTANT PLACE, SUITE 201
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DURHAM, NORTH CAROLINA

**SITE PLAN
-WEST**

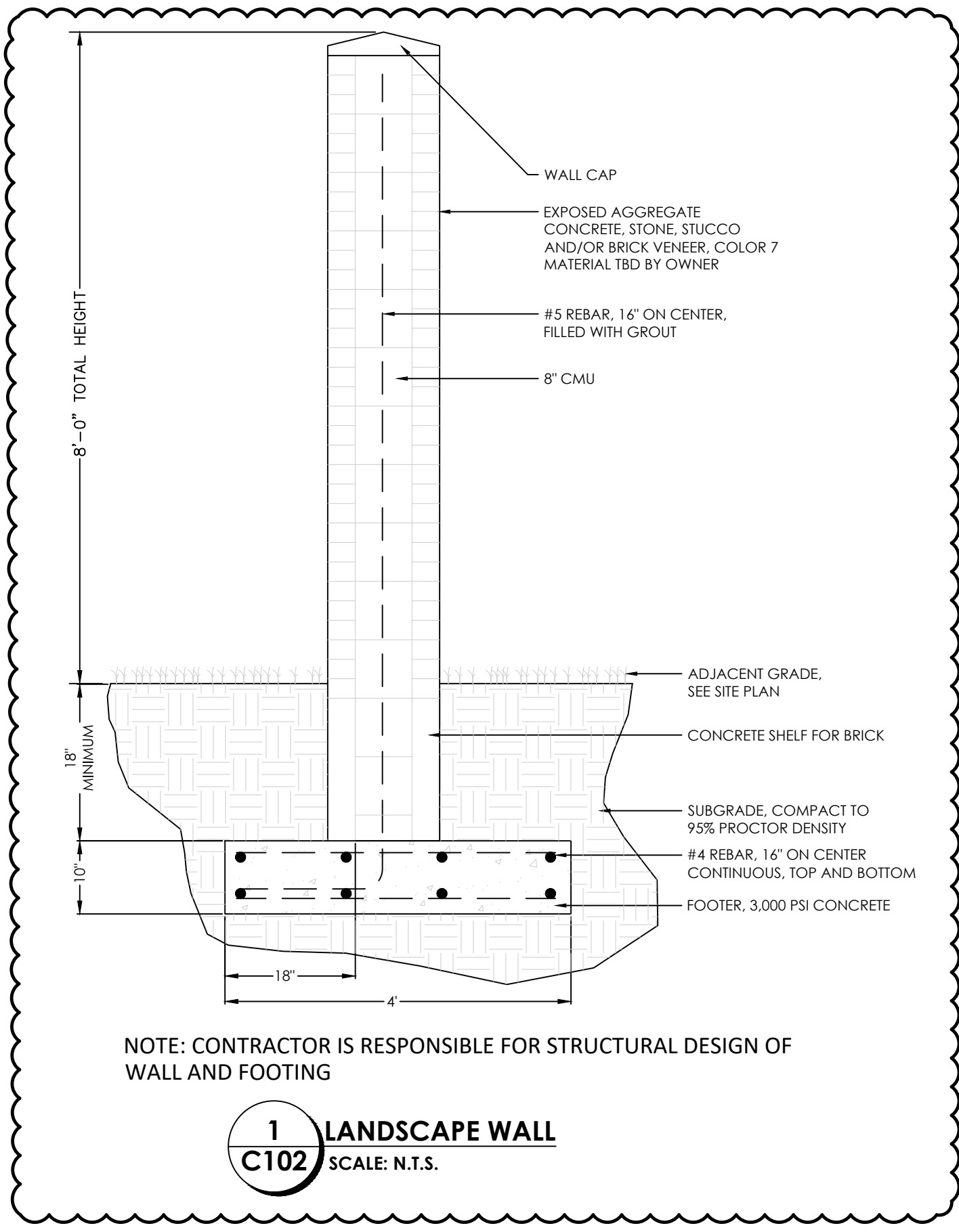


11/13/2019		
1	PER CITY OF DURHAM COMMENTS	RV
01/08/2019		
2	PER CITY OF DURHAM COMMENTS	RV

DRAWN BY: RV
CHECKED BY: RV
DATE: 07-26-2019
SCALE: AS NOTED
PROJECT NO: 1811
SHEET NO.

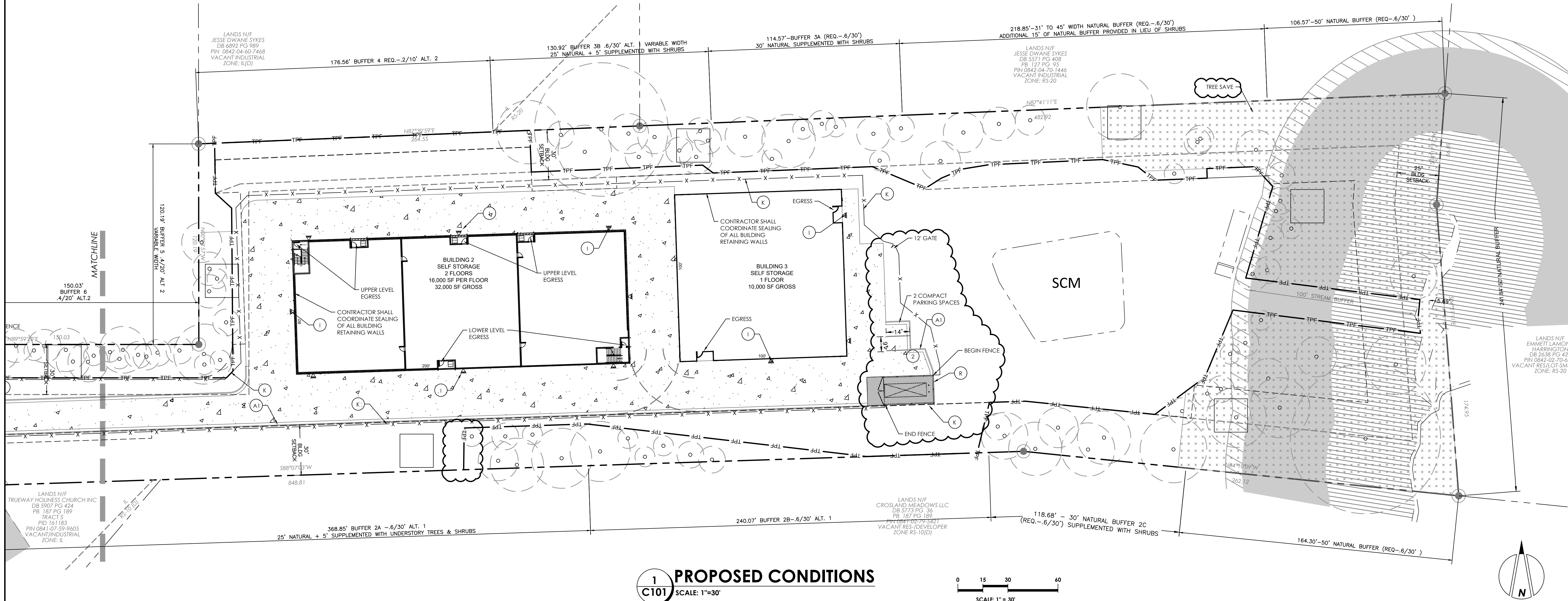
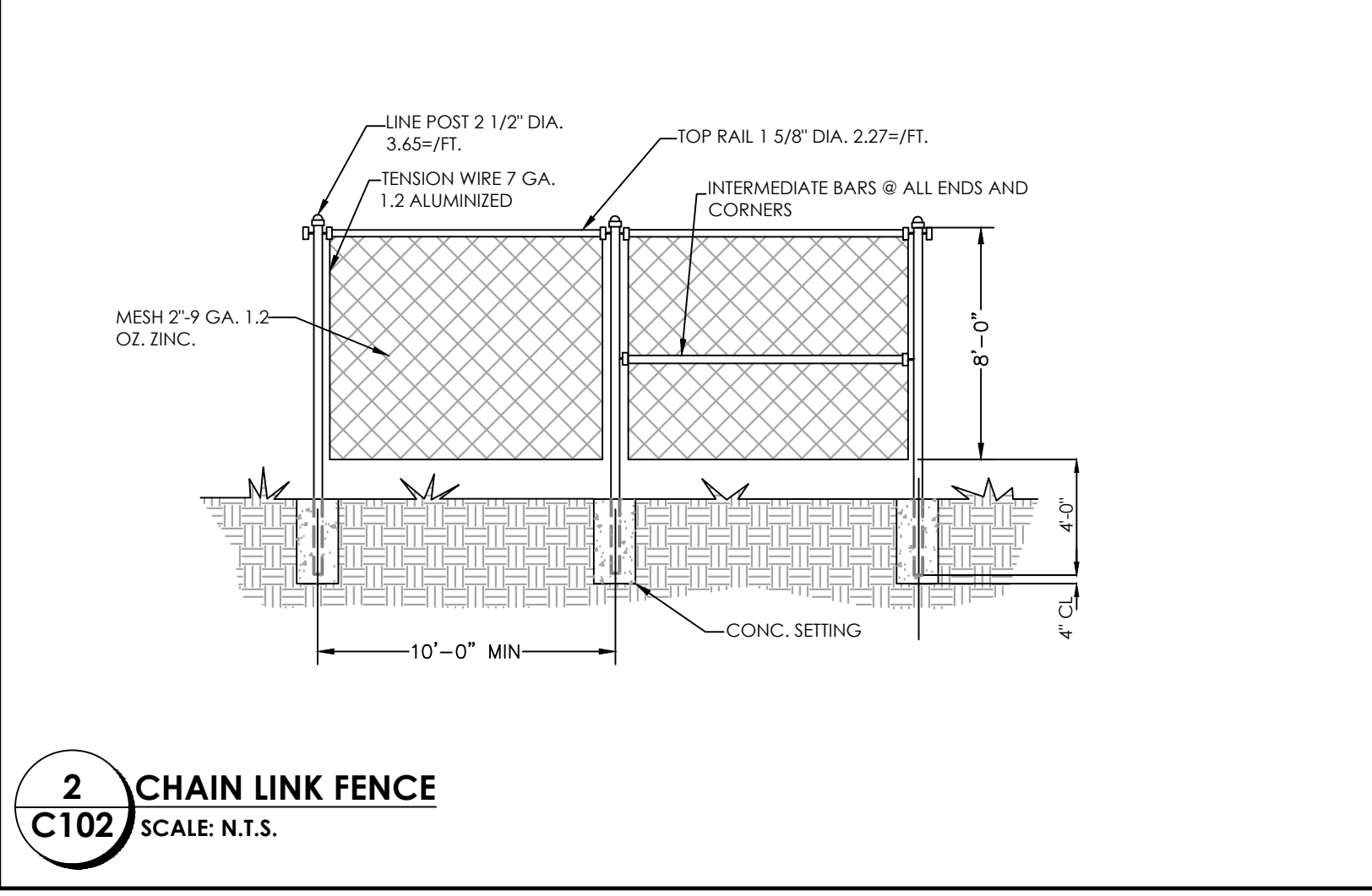
C101

SITE PLAN



DEVELOPMENT SUMMARY:	
SITE SUMMARY	
PID 168324:	266,732 SF (6.12 AC)
PID 168325:	43,926 SF (1.01 AC)
GROSS LAND AREA:	310,658 SF (7.13 AC)
AREA OF DISTURBANCE:	179,250 SF (4.12 AC)
EXISTING ZONING:	IL(D)
EXISTING USE:	SELF STORAGE
PROPOSED USE:	SELF STORAGE
WATERSHED PROTECTION OVERLAY:	F/J-B
RIVER BASIN:	NEUSE
CITY LIMIT:	INSIDE
TIER:	SUBURBAN
LOT SUMMARY	
MAXIMUM BUILDING HEIGHT:	50'
MAXIMUM BUILDING COVERAGE:	60% (186,395 SF)
MINIMUM LOT WIDTH:	100'
MINIMUM LOT SIZE:	25,000 SF
STREET YARD SETBACK:	40'
SIDE SETBACK:	30'
REAR SETBACK:	25'
BUILDING SUMMARY	
EXISTING BUILDING AREA:	24,000 SF
PROPOSED BUILDING AREA:	66,000 SF
TOTAL PROPOSED BUILDING AREA:	90,000 SF
EXISTING STORAGE UNITS:	775
PROPOSED STORAGE UNITS:	536
TOTAL STORAGE UNITS:	1,311
PARKING SUMMARY	
MAXIMUM NUMBER OF SELF STORAGE UNITS BASED ON PROVIDED PARKING:	1,349 UNITS
REQUIRED STORAGE PARKING: 1750 UNITS - 1337 UNITS = 413 SPACES	
HC VAN ACCESSIBLE PARKING PROVIDED:	2 SPACES
STANDARD PARKING PROVIDED (MIN. 7' X 14'):	8 SPACES
COMPACT PARKING PROVIDED (MIN. 7' X 14'):	8 SPACES
TOTAL PARKING PROVIDED:	13 SPACES
BIKE PARKING (MIN. 2 REQUIRED):	1/750 UNITS = 2 SPACES
IMPERVIOUS SUMMARY	
TOTAL AREA:	910,657 SF (20.93 AC)
MAXIMUM ALLOWABLE IMPERVIOUS AREA:	217,460 SF (4.99 AC) (20.00%)
EXISTING IMPERVIOUS AREA:	78,052 SF (1.79 AC) (25.12%)
PROPOSED IMPERVIOUS AREA:	78,198 SF (1.80 AC) (25.17%)
ROOF:	97,851 SF (2.23 AC) (12.18%)
PARKING/DRIVEWAY/SIDEWALK:	40,347 SF (0.93 AC) (12.99%)
RESERVE:	2,000 SF (0.05 AC) (0.64%)
TOTAL IMPERVIOUS AREA:	158,249 SF (3.63 AC) (50.94%)
TREE COVERAGE SUMMARY	
REQUIRED TREE COVERAGE:	31,258 SF (0.72 AC)
PROPOSED TREE COVERAGE:	31,258 SF (0.72 AC)

SITE CALLOUTS	
(A) 24" STANDING CURB	
(C) 5" CONCRETE SIDEWALK	
(D) FIRE TURN-AROUND	
(F) HANDICAP RAMP	
(F2) HANDICAP SIGN	
(F3) HANDICAP PARKING AREA	
(G) LIGHT POLE	
(H) BIKE RACK(S)	
(I) WALL PACK LIGHT	
(J) BOLLARD	
(K) 8" FENCE	
(L) RETAINING WALL	
(N1) 10' X 70' SIGHT TRIANGLE	
(P) STORM DRAINAGE EASEMENT AND 2' BUILDING SETBACK	
(Q) TREE PROTECTION FENCE	DETAIL 2/C101
(R) DUMPSTER ENCLOSURE	DETAIL 11/C800
DETAILS SHEET	
C.O.D. DETAIL 402.01	
C.O.D. DETAIL 402.02	
C.O.D. DETAIL 405.03	
DETAIL 2/C800	
DETAIL 6/C800	
DETAIL 1/C800	
DETAIL 8/C800	
DETAIL 2/C101	
DETAIL 11/C800	
LEGEND (PROPOSED CONDITIONS)	
LD	LIMITS OF DISTURBANCE
LD	TREE PROTECTION FENCE
XXXXXX	TREE SAVE AREA (TC)
Zone 2	EXISTING STREAM BUFFER
XXXXXX	10' NO BUILD ZONE
~~~~~	PERENNIAL STREAM



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DURHAM, NORTH CAROLINA

SITE PLAN - EAST

11/13/2019	PER CITY OF DURHAM	RV
01/08/2019	PER CITY OF DURHAM	RV
DRAWN BY: RV		
CHECKED BY: RV		
DATE: 07-26-2019		
SCALE: AS NOTED		
PROJECT NO: 1811		
SHEET NO.		

C102

SITE PLAN



- LANDSCAPE NOTES:**
- SHRUBS MUST BE PLANTED NO CLOSER THAN 3 FEET TO ANY PROPOSED TREE OR WITHIN THE DRIPLINE OF ANY EXISTING TREE.
  - ALL LANDSCAPING SHALL BE LIMBED BETWEEN 30° AND 7° WITHIN ALL SIGHT DISTANCE TRIANGLES.
  - NO CANOPY TREE WILL BE CREDITED OR PERMITTED IN A PLANTING ISLAND SMALLER THAN 200 S.F.
  - TREES AND SHRUBS SHALL BE SPACED AT LEAST 3 FEET FROM THE BACK OF CURBS IN ORDER TO AVOID CONFLICTS WITH CAR OVERHANGS.
  - ALL PLANT MATERIALS MUST MEET OR EXCEED THE MINIMUM SIZES SHOWN AT THE TIME OF INSTALLATION.
  - CONTRACTOR SHALL MULCH ALL PLANT BEDS AND TREE WELLS WITH A 3" MINIMUM OF HARD WOOD MULCH.
  - CONTRACTOR SHALL TILL & ADD SOIL AMENDMENTS WHEN PREPARING ALL PLANT BEDS. ALL ROCKS, TREE LIMB DEBRIS AND OTHER IMPEDIMENTS SHALL BE REMOVED.
  - CONTRACTOR SHALL PROVIDED AN 1 YEAR WARRANTY ON ALL PLANT MATERIAL AND INSTALLATION FROM DATE OF ACCEPTANCE.
  - CONTRACTOR SHALL PROVIDE AN OPTIONAL LINE ITEM TO OWNER TO INSTALL AND PROVIDE THE OWNER AN "AS-BUILT" LANDSCAPE SPRINKLER SYSTEM ON ALL PLANTED AREAS. SHOP DRAWINGS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
  - BUFFER WIDTH IS VARIED AS ALLOWED PER UDO SECTION 9.4.5.F.
  - CANOPY TREES SHALL BE PLANTED AT LEAST 18 FEET APART.
  - DECIDUOUS UNDERSTORY TREES SHALL BE PLANTED AT LEAST 12 FEET APART.
  - THE SPACING BETWEEN CANOPY AND DECIDUOUS UNDERSTORY TREES SHALL BE AT LEAST 6 FEET.
  - TREE PLANTING AND SITE LIGHTING SHALL BE SEPARATED BY A MINIMUM OF 10 FEET

- SEED BED PREPARATION**
- A) CHISEL COMPACTED AREA AND SPREAD TOPSOIL 3" DEEP OVER ADVERSE SOIL CONDITIONS.
- B) RIP THE ENTIRE AREA TO A 4" DEPTH.
- C) REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
- D) APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE "BELOW")
- E) CONTINUE TILLAGE UNTIL A WELL PULVERIZED, FIRM, REASONABLY UNIFORM SEED BED IS PREPARED 5" TO 6" DEEP.
- F) SEED ON A FRESHLY PREPARED SEED BED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
- G) MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
- H) INSPECT ALL SEED BEDS AND MAKE NECESSARY REPAIRS OR RESEEDING WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE OVER 60% DAMAGED, REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
- I) CONSULT CONSERVATION INSPECTOR ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.
- J) SEEDING RE-VEGETATION FOR ALL EASEMENTS AND MASS GRADING: CLEARED/DISTURBED EASEMENTS NEAR STREAM BUFFERS TO BE SEED WITH NATIVE GRASS SPECIES: "SWITCHGRASS" (*Panicum virgatum*), @ A RATE OF 50#/ACRE.
- * APPLY:  
AGRICULTURAL LIMESTONE 2T/AC (3 TON IN CLAY)  
FERTILIZER: 10-10-10 AT 800-1000#/AC  
SUPERPHOSPHATE 500#/AC OF 20% ANALYSIS SUPERPHOSPHATE  
MULCH: 2 TON/80 BALES 3M GRAIN STRAW/ACRE  
ANCHOR: LIQUID ASPHALT 400 GAL/AC; EMULSIFIED ASPHALT 300 GAL/AC

SEEDING SCHEDULE			
FOR SHOULDERS, SIDE DITCHES & SLOPES (MAX 2:1)			
DATE	TYPE	PLANTING RATE	
AUG 15-NOV 1	CREEPING RED FESCUE	300 #/AC	
NOV 1-MAR 1	CREEPING RED FESCUE AND ABRUZZI RYE	25 #/AC 300 #/AC	
MAR 1-APR 15	CREEPING RED FESCUE	300 #/AC	
APR 15-JUN 30	HULLED COMMON BERMUDA GRASS	25 #/AC 120 #/AC	
JUL 15-AUG 15	TALL FESCUE AND BROWNTOP MILLET OR SORGHUM-SUDAN HYBRIDS	35 #/AC 30 #/AC	
FOR SLOPES (3:1 TO 2:1)			
MAR 1-JUN 1	CREEPING RED FESCUE	50#/AC	
APR 15-MAY 30	OR ADD LITTLE BLUESTEM	10/12#/AC	
MAR 1-JUNE 30	OR ADD HULLED COMMON BERMUDA GRASS	25 #/AC	
JUN 1-SEPT 1	***CREEPING RED FESCUE AND ***BROWNTOP MILLET	120 #/AC 35 #/AC	
	***OR SORGHUM-SUDAN HYBRIDS	30 #/AC	
SEPT 1-MAR 1	CREEPING RED FESCUE	120 #/AC	
(NOV 1-MAR 1)	ADD ABRUZZI RYE	25 #/AC	
CONSULT CONSERVATION ENGINEER OR SCs FOR ADDITIONAL INFORMATION CONCERNING OTHER ALTERNATIVES FOR VEGETATION OF DENUDED AREAS. ABOVE VEGETATION RATES ARE THOSE WHICH DO WELL UNDER LOCAL CONDITIONS; OTHER SEEDING RATE COMBINATIONS ARE POSSIBLE.			
***TEMPORARY RESEED ACCORDING TO OPTIMUM SEASON FOR DESIRED PERMANENT VEGETATION. DO NOT ALLOW TEMPORARY COVER TO GROW OVER 12" IN HEIGHT BEFORE MOWING. OTHERWISE FESCUE MAY BE SHADDED OUT.			

PIN: 0842-60-00-2576  
PID: 168325

PIN: 0842-60-71-1316  
PID: 168324

- NOTES:**
- WHERE SEVERAL TREES WILL BE PLANTED CLOSE TOGETHER SUCH THAT THEY WILL LIKELY SHARE ROOT SPACE. ALL IN-SOIL AMENDMENTS TO A DEPTH OF 4" (10-15 CM) OVER THE ENTIRE AREA.
  - FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL. THEN CUT OR PULL APART ANY ROOTS CIRCLES THE PERIMETER OF THE CONTAINER.
  - DURING THE DESIGN PHASE, CONFIRM THAT WATER DRAINAGE OUT OF THE SOIL USE LOWERED PLANTING HOLE DEPTH AND DESIGN ALTERNATIVE DRAINAGE SYSTEM AS REQUIRED.
  - THOROUGHLY SOAK THE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING, AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
  - THE PLANTING PROCESS IS SIMILAR FOR DECIDUOUS AND EVERGREEN TREES.
  - AVOID PURCHASING TREES WITH TWO LEADERS OR REMOVE ONE AT PLANTING. OTHERWISE, DO NOT PRUNE TREE AT PLANTING EXCEPT FOR SPECIFIC STRUCTURAL CORRECTIONS.
- DO NOT WIP TRUNK. MARK THE NORTH SIDE OF THE TREE IN THE NURSERY AND LOCATE TO THE NORTH IN THE FIELD.
- TRUNK FLARE AND TOP OF ROOT BALL SHOULD BE AT GRADE. WELL DRAINED SOIL UP TO 4 INCHES (10 CM) ABOVE GRADE IN POORLY DRAINED SOILS.
- DO NOT STAKE TREES EXCEPT WHERE SPECIFIED BY LANDSCAPE ARCHITECT. IF STAKING IS NECESSARY, USE TWO OPPOSING STAKES WITH SEPARATE FLEXIBLE TIES. REMOVE STAKING AT END OF FIRST GROWING SEASON.
- INSTALL MULCH (3" DEPTH) ALL PLANTINGS. DO NOT PLACE MULCH IN CONTACT WITH TRUNK.
- BUILD 4" - 6" HIGH SAUCER TO RETAIN WATER KEEPING INVERT OF SAUCER THE SAME AS IT WAS AT NURSERY.
- BACKFILL WITH PREPARED TOPSOIL/AMENDED NATIVE SOIL IN 9" LAYERS, WATER EACH LAYER UNTIL SETTLED. (DO NOT TAMPA).
- BREAK SUBSOIL WITH PICK.
- PACK BACKFILL SOIL AROUND THE BASE OF THE ROOT BALL TO STABILIZE. AROUND REST OF BACKFILL TO SETTLE NATURALLY. OR TAMPA LIGHTLY.

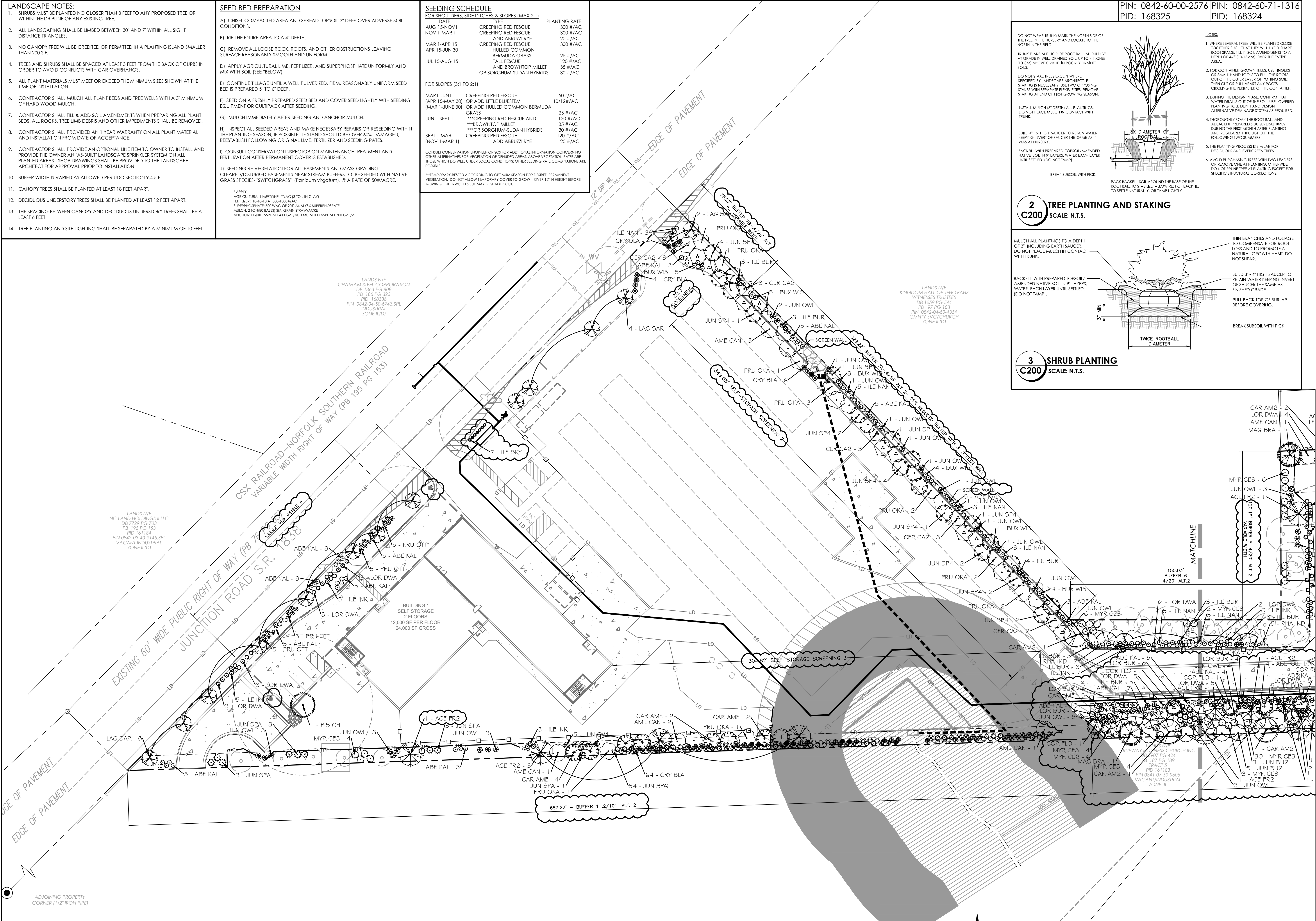
## 2 TREE PLANTING AND STAKING

SCALE: N.T.S.

- MULCH ALL PLANTINGS TO A DEPTH OF 3", INCLUDING EARTH SAUCER. DO NOT PLACE MULCH IN CONTACT WITH TRUNK.
- THIN BRANCHES AND FOLIAGE TO COMPENSATE FOR ROOT LOSS AND TO PROMOTE A NATURAL GROWTH HABIT. DO NOT SHEAR.
- BUILD 3" - 4" HIGH SAUCER TO RETAIN WATER KEEPING INVERT OF SAUCER THE SAME AS FINISHED GRADE.
- PULL BACK TOP OF BURLAP BEFORE COVERING.
- BREAK SUBSOIL WITH PICK.
- BACKFILL WITH PREPARED TOPSOIL/AMENDED NATIVE SOIL IN 9" LAYERS, WATER EACH LAYER UNTIL SETTLED. (DO NOT TAMPA).
- THIN BRANCHES AND FOLIAGE TO COMPENSATE FOR ROOT LOSS AND TO PROMOTE A NATURAL GROWTH HABIT. DO NOT SHEAR.
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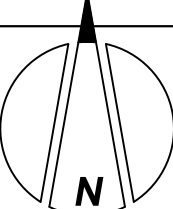
## 3 SHRUB PLANTING

SCALE: N.T.S.



## 1 LANDSCAPE PLAN

SCALE: 1"=30'



16 CONSULTANT PLACE, SUITE 201  
DURHAM, NORTH CAROLINA 27707  
P 919.490.4990 F 919.490.8953

NORTH CAROLINA BOARD OF  
EXAMINERS FOR ENGINEERS AND  
SURVEYORS LICENSE NO.: C-0676

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804 JUNCTION RD.  
DURHAM COUNTY  
DURHAM, NORTH CAROLINA

## LANDSCAPE PLAN - WEST



11/13/2019	PER CITY OF DURHAM COMMENTS	RV
01/08/2019	PER CITY OF DURHAM COMMENTS	RV

DRAWN BY: RV  
CHECKED BY: RV  
DATE: 07-26-2019  
SCALE: AS NOTED  
PROJECT NO: 1811  
SHEET NO.

## C201

SITE PLAN



## PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL / COMMON NAME	CONT	CAL	HEIGHT	QTY
ACE FR2	CT ACER X FREEMANII 'ARMSTRONG' / ARMSTRONG FREEMAN MAPLE	B & B	2.5" CAL		12
AME CAN	DU AMELANCHIER CANADENSIS / CANADIAN SERVICEBERRY	CONT.	1" CAL	8' HGT.	13
CAR AM2	CT CARPINUS CAROLINIANA / AMERICAN HORNBEAM	B & B	2.5" CAL		13
CAR AME	DU CARPINUS CAROLINIANA / AMERICAN HORNBEAM	CONT.	1" CAL	8' HGT.	14
CER CA2	DU CERCIS CANADENSIS / EASTERN REDBUD	CONT.	1" CAL	8' HGT.	21
COR FLO	DU CORNUS FLORIDA / EASTERN DOGWOOD	CONT.	1" CAL	8' HGT.	14
LAG SAR	CT LAGERSTROEMIA FAURIEI 'SARA'S FAVORITE' / SARA'S FAVORITE CRAPE MYRTLE	CONT.	2.5" CAL		14
PIS CHI	CT PISTACIA CHINENSIS / CHINESE PISTACHE	B & B	2.5" CAL		2
PRU OKA	DU PRUNUS X OKAME / OKAME CHERRY	CONT.	1" CAL	8' HGT.	20
EVERGREEN TREES	BOTANICAL / COMMON NAME	CONT	CAL	HEIGHT	QTY
ILE AME	EU ILEX OPACA / AMERICAN HOLLY	B & B		6' HGT.	24
ILE EM2	EU ILEX X 'EMILY BRUNER' / EMILY BRUNER HOLLY	B & B		6' HGT.	15
JUN SP4	EU JUNIPERUS CHINENSIS 'SPARTAN' / SPARTAN JUNIPER	B & B		6' HGT.	21
JUN BU2	EU JUNIPERUS VIRGINIANA 'BURKII' / BURK RED CEDAR	B & B		6' HGT.	20
MAG BRA	ET MAGNOLIA GRANDIFLORA 'BRACKENS BROWN BEAUTY' / BRACKEN'S SOUTHERN MAGNOLIA	B & B		8' HGT.	6
MYR CE2	EU MYRICA CERIFERA / WAX MYRTLE	CONT.		6' HGT.	22

MIX OF SPECIES TREES - MIN 5 SPECIES AND MAX 30% OF ANY ONE SPECIES (MAX. 60%)  
MIX OF SPECIES SHRUBS - MIN 10 SPECIES AND MAX 20% OF ANY ONE SPECIES (MAX. 20%)  
CT - CANOPY TREE DU - DECIDUOUS UNDERSTORY EF - EVERGREEN TREE & EU - EVERGREEN UNDERSTORY

## PLANT SCHEDULE

SHRUBS	BOTANICAL / COMMON NAME	CONT	HEIGHT	SPACING	QTY
ABE KAL	ABELIA X GRANDIFLORA 'KALEIDOSCOPE' / GLOSSY ABELIA	CONT.	15" HGT.	36" o.c.	122
BUX WIS	BUXUS MICROPHYLLA 'WINTERGREEN' / WINTERGREEN BOXWOOD	CONT.	15" HGT.	36" o.c.	25
CAM JAP	CAMELLIA JAPONICA / CAMELLIA	CONT.	15" HGT.	48" o.c.	43
CRY BLA	CRYPTOMERIA JAPONICA 'BLACK DRAGON' / BLACK DRAGON JAPANESE CEDAR	CONT.	6' HGT.	48" o.c.	78
EUO EVE	EUONYMUS JAPONICUS 'GOLDEN' / EVERGREEN EUONYMUS	CONT.	15" HGT.	36" o.c.	62
ILE BUR	ILEX CORNUTA 'BURFORDII NANA' / DWARF BURFORD HOLLY	CONT.	15" HGT.	36" o.c.	101
ILE SKY	ILEX CRENATA 'SKY PENCIL' / SKY PENCIL JAPANESE HOLLY	CONT.	4' HGT.	24" o.c.	7
ILE INK	ILEX GLABRA 'COMPACTA' / COMPACT INKBERRY	CONT.	15" HGT.	36" o.c.	103
ILE NAN	ILEX VOMITORIA 'NANA' / DWARF YAUPON	CONT.	15" HGT.	36" o.c.	81
JUN SPA	JUNIPERUS CHINENSIS 'SPARTAN' / SPARTAN JUNIPER	CONT.	15" HGT.	60" o.c.	10
JUN SP6	JUNIPERUS CHINENSIS 'SPARTAN' / SPARTAN JUNIPER	CONT.	6' HGT.	48" o.c.	54
JUN OWL	JUNIPERUS VIRGINIANA 'GREY OWL' / EASTERN RED CEDAR	CONT.	15" HGT.	48" o.c.	81
LOR BUR	LOROPETALUM CHINENSE BURGUNDY / BURGUNDY LOROPETALUM	CONT.	15" HGT.	48" o.c.	65
LOR DWA	LOROPETALUM CHINENSE RUBRUM 'RUBY' / DWARF RUBY FRINGE FLOWER	CONT.	15" HGT.	36" o.c.	93
MYR CE3	MYRICA CERIFERA / WAX MYRTLE	CONT.	15" HGT.	60" o.c.	93
PRU OTT	PRUNUS LAUROCERASUS 'OTTO LUYKEN' / LUYKENS LAUREL	CONT.	15" HGT.	36" o.c.	20
RHA IND	RHAPHIOLEPS INDICA / INDIAN HAWTHORN	CONT.	15" HGT.	36" o.c.	68

### SCREENING CALCULATIONS

	AREA 1	AREA 2	AREA 3
REQUIRED	20.30 LF	349.65 LF	274.93 LF
PROVIDED	8.12	339.86	109.97

### LANDSCAPE CALCULATIONS

	VUA #1	VUA #2
REQUIRED	5,600 SF	675 SF
PROVIDED	840	101

	VUA INTERNAL	VUA VISIBLE A
LANDSCAPE AREA (SF)	840	101
CANOPY TREES	2.80	0.34
SHRUBS	22.40	56

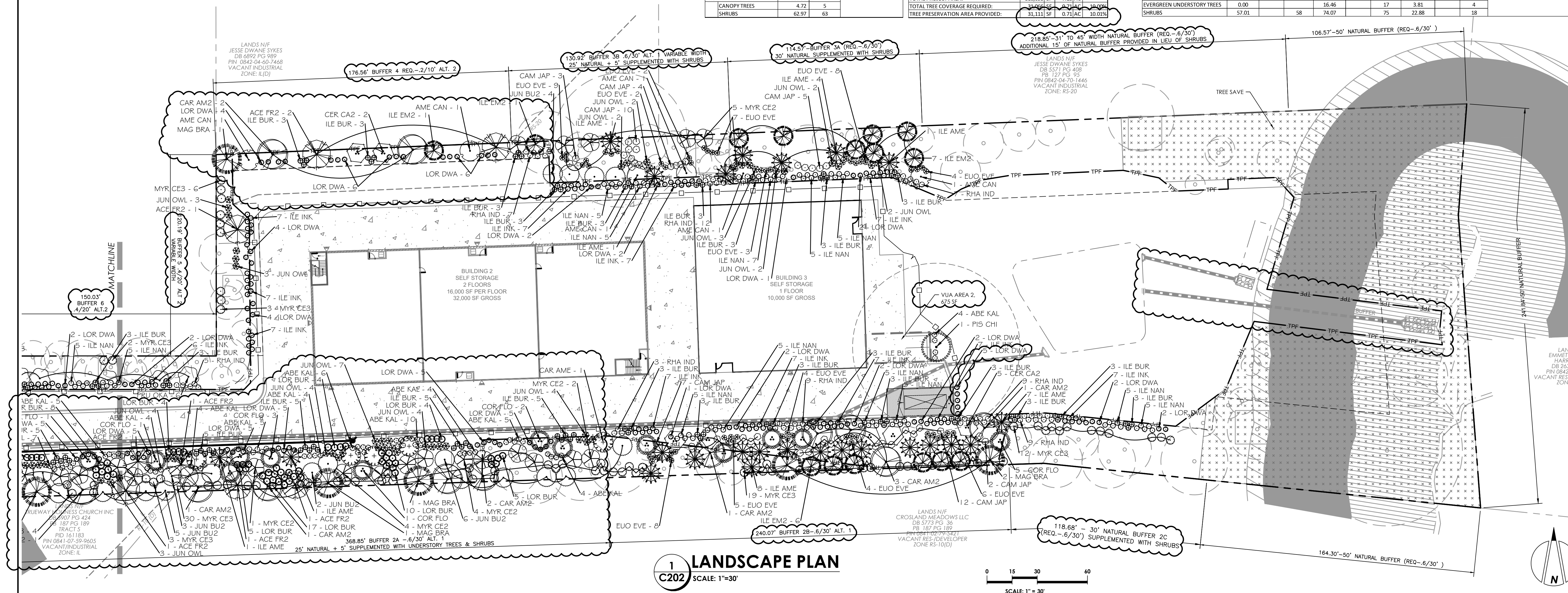
	LENGTH OF VUA VISIBLE FROM RIGHT-OF-WAY	LENGTH OF ROW
CANOPY TREES	188.91 LF	589.98 LF
SHRUBS	4.72	5

	STREET TREE CALCULATIONS
ROAD NAME	JUNCTION RD
LENGTH OF ROW	589.98 LF
CANOPY TREES	14.00
SHRUBS	14

### TREE COVERAGE CALCULATIONS - PROJECT AREA

TOTAL PROJECT AREA:	310,658 SF	7.13 AC
TOTAL TREE COVERAGE REQUIRED:	31,111 SF	0.71 AC
TREE PRESERVATION AREA PROVIDED:	31,111 SF	0.71 AC

BUFFER	BUFFER 1- 687.22 LF	BUFFER 2A- 368.85 LF	BUFFER 2B- 240.07 LF	BUFFER 2C- 118.68 LF
REQUIRED	ALT. 1 - 6/30	ALT. 1 - 6/30	ALT. 1 - 6/30	ALT. 1 - 6/30
EXISTING	ALT. 1 - 6/30	ALT. 1 - 6/30	ALT. 1 - 6/30	ALT. 1 - 6/30
PROPOSED	ALT. 1 - 6/30	ALT. 1 - 6/30	ALT. 1 - 6/30	ALT. 1 - 6/30
ALTERNATIVE BUFFER SELECTION	ALT. 1 - 6/30	ALT. 1 - 6/30	ALT. 1 - 6/30	ALT. 1 - 6/30
CANOPY TREES	13.74	22.13	14.40	7.12
EVERGREEN TREES	0.00	3.69	2.40	1.19
DECIDUOUS UNDERSTORY TREES	13.74	14.75	9.60	4.75
EVERGREEN UNDERSTORY TREES	0.00	33.20	21.61	10.68
SHRUBS	82.47	258.20	168.05	83.08
BUFFER 3A- 114.57 LF	BUFFER 3B- 130.92 LF	BUFFER 4- 176.56 LF	BUFFER 5- 120.19 LF	
ALT. 1 - 6/30	ALT. 1 - 6/30	ALT. 1 - 6/30	ALT. 1 - 6/30	
EXISTING	ALT. 1 - 6/30	ALT. 1 - 6/30	ALT. 1 - 6/30	
PROPOSED	ALT. 1 - 6/30	ALT. 1 - 6/30	ALT. 1 - 6/30	
ALTERNATIVE BUFFER SELECTION	ALT. 1 - 6/30	ALT. 1 - 6/30	ALT. 1 - 6/30	
CANOPY TREES	6.87	7.86	3.53	4.81
EVERGREEN TREES	1.15	3.00	0.00	1.00
DECIDUOUS UNDERSTORY TREES	4.58	5.24	3.53	7.21
EVERGREEN UNDERSTORY TREES	10.31	11.78	12	1.00
SHRUBS	80.20	91.64	21.19	45.67
BUFFER 6- 150.03 LF	BUFFER 7A- 36.72 LF	BUFFER 7B- 76.27 LF		
ALT. 2 - 4/20	ALT. 4 - 4/15 (25% Reduction)	ALT. 4 - 4/20		
EXISTING	ALT. 4 - 4/15 (25% Reduction)	ALT. 4 - 4/20		
PROPOSED	ALT. 4 - 4/15 (25% Reduction)	ALT. 4 - 4/20		
ALTERNATIVE BUFFER SELECTION	ALT. 4 - 4/15 (25% Reduction)	ALT. 4 - 4/20		
CANOPY TREES	6.00	0.00	0.00	2
EVERGREEN TREES	0.00	0.00	0.00	
DECIDUOUS UNDERSTORY TREES	9.00	23.05	5.34	6
EVERGREEN UNDERSTORY TREES	0.00	16.46	3.81	4
SHRUBS	57.01	74.07	22.88	18



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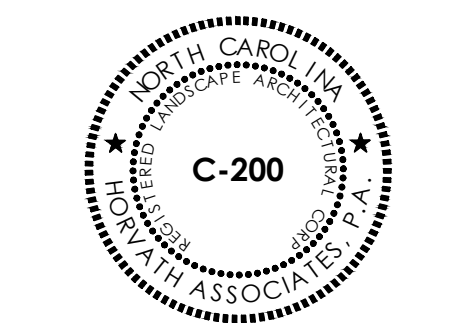
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804 JUNCTION RD.  
DURHAM COUNTY  
DURHAM, NORTH CAROLINA

## LANDSCAPE PLAN - EAST



11/13/2019	PER CITY OF DURHAM COMMENTS	RV
01/08/2019	PER CITY OF DURHAM COMMENTS	RV

DRAWN BY:	CHECKED BY:
RV	RV
DATE	07-26-2019
SCALE	AS NOTED
PROJECT NO.	1811
SHEET NO.	

**C202**

SITE PLAN



DEVELOPMENT SUMMARY:

**SITE SUMMARY**  
PID 168324: 266,732 SF (6.12 AC)  
PID 168325: 43,926 SF (1.01 AC)  
GROSS LAND AREA: 310,658 SF (7.13 AC)  
AREA OF DISTURBANCE: 179,250 SF (4.12 AC)  
EXISTING ZONING: IL(D)  
EXISTING USE: SELF STORAGE  
PROPOSED USE: SELF STORAGE  
WATERSHED PROTECTION OVERLAY: F/U-B  
RIVER BASIN: NEUSE  
CITY LIMIT: INSIDE  
TIER: SUBURBAN

**LOT SUMMARY**  
MAXIMUM BUILDING HEIGHT: 50'  
MAXIMUM BUILDING COVERAGE: 60% (186,395 SF)  
MINIMUM LOT WIDTH: 100'  
MINIMUM LOT SIZE: 25,000 SF  
STREET YARD SETBACK: 40'  
SIDE SETBACK: 30'  
REAR SETBACK: 25'

**BUILDING SUMMARY**  
EXISTING BUILDING AREA: 24,000 SF  
PROPOSED BUILDING AREA: 66,000 SF  
TOTAL PROPOSED BUILDING AREA: 90,000 SF  
EXISTING STORAGE UNITS: 775  
PROPOSED STORAGE UNITS: 536  
TOTAL STORAGE UNITS: 1,311

**PARKING SUMMARY**  
MAXIMUM NUMBER OF SELF STORAGE UNITS BASED ON PROVIDED PARKING: 1,349 UNITS  
REQUIRED PARKING: 1,349 UNITS = 1,349 SPACES

HC VAN ACCESSIBLE PARKING PROVIDED: 2 SPACES  
STANDARD PARKING PROVIDED (4'-10'): 2 SPACES  
COMACT PARKING PROVIDED (MIN. 2'-X-10'): 2 SPACES  
TOTAL PARKING PROVIDED: 13 SPACES  
BIKE PARKING (MIN. 2 REQUIRED): 1/750 Units = 2 SPACES

**IMPERVIOUS SUMMARY**  
TOTAL AREA: 310,657 SF (7.13 AC)  
MAXIMUM ALLOWABLE IMPERVIOUS AREA: 217,460 SF (4.99 AC) (70.00%)  
EXISTING IMPERVIOUS AREA: 78,052 SF (1.79 AC) (25.17%)  
PROPOSED IMPERVIOUS AREA: 78,198 SF (1.80 AC) (25.17%)  
ROOF: 37,851 SF (0.87 AC) (12.18%)  
PARKING/DRIVEWAY/SIDEWALK: 40,347 SF (0.93 AC) (12.99%)  
RESERVE: 2,000 SF (0.05 AC) (0.64%)  
TOTAL IMPERVIOUS AREA: 158,249 SF (3.63 AC) (50.94%)

**TREE COVERAGE SUMMARY**  
REQUIRED TREE COVERAGE: 31,046 SF (0.09%)  
PROPOSED TREE COVERAGE: 31,756 SF (10.22%)

LANDS N/F  
NC LAND HOLDINGS II LLC  
DB 7720 PG 703  
PB 195 PG 153  
PID 161184  
PIN 0842-03-40-9145.SPL  
VACANT INDUSTRIAL ZONE IL(D)

LANDS N/F  
CHATHAM STEEL CORPORATION  
DB 1363 PG 808  
PB 186 PG 323  
PID 168336  
PIN 0842-04-50-4743.SPL  
INDUSTRIAL ZONE IL(D)

LANDS N/F  
KINGDOM HALL OF JEHOVAHS WITNESSES TRUSTEES  
DB 1659 PG 344  
PB 97 PG 103  
PIN 0842-04-40-4334  
CMNTY SVC/CHURCH ZONE IL(D)

LANDS N/F  
TRUEWAY HOLINESS CHURCH INC  
DB 5907 PG 424  
PB 107 PG 189  
TRACT 5  
PID 161183  
PIN 0841-07-59-9605  
VACANT INDUSTRIAL ZONE: IL

GENERAL GRADING/UTILITY NOTES

- A. PRIOR TO CONSTRUCTION OF THE PROPOSED STORM DRAINS, VERIFY ALL EXISTING LOCATIONS AND RIM/INVERT ELEVATIONS OF CONNECTIONS TO BOTH EXISTING AND PROPOSED STORM SYSTEM. NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN PLANS AND EXISTING CONDITIONS.
- B. ALL STORM DRAINAGE LINES SHALL BE CLASS III REINFORCED CONCRETE PIPE, UNLESS OTHERWISE NOTED.
- C. INSTALL TREE PROTECTION FENCING AT THE SAME TIME AS THE EROSION CONTROL MEASURES. MAINTAIN UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETED.
- D. LOCATE TREE PROTECTION MEASURES SO THAT THEY MAINTAIN A 6-FOOT RADIUS AROUND EXISTING PLANTS OR PROVIDE A 1-FOOT RADIUS FOR EACH 1-INCH DIAMETER OF TREES (MEASURES AT A POINT 4 1/2 FEET ABOVE GROUND) WHICHEVER IS GREATER.
- E. NO STORAGE OF MATERIALS, FILL OR EQUIPMENT SHALL BE ALLOWED WITHIN THE PROTECTED AREA. POST NO TRESPASSING SIGNS ON THE PROTECTION FENCING.
- F. AT THE START OF GRADING INVOLVING THE LOWERING OF THE EXISTING GRADE AROUND A TREE OR THE STRIPPING OF TOPSOIL, MAKE A CLEAN, SHARP, VERTICAL CUT AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. INSTALL THE TREE PROTECTION FENCING ON THE SIDE FARTHEST AWAY FROM THE TREE TRUNKS.
- G. INSTALL ALL UTILITIES IN ACCORDANCE WITH THE CITY OF DURHAM STANDARDS AND SPECIFICATIONS, INCLUDING TRANSITION COUPLINGS.
- H. FIELD VERIFY ALL EXISTING UTILITIES LOCATIONS AND INVERTS PRIOR TO CONSTRUCTION.
- I. ALL POWER, TELEPHONE, AND GAS SERVICES SHALL BE UNDERGROUND. COORDINATE ACCESS SERVICE ROUTES WITH THE UTILITY COMPANIES.
- J. LOCATION OF THE EXISTING UTILITIES IS APPROXIMATE AND MUST BE VERIFIED IN THE FIELD PRIOR TO ANY CONSTRUCTION. NOTIFY THE CITY OF DURHAM AND NC ONECALL TO REQUEST FIELD LOCATION OF SERVICES.
- K. ALL WATER MAINS 3" AND LARGER SHALL BE DUCTILE IRON PIPE PER AWWA C151, AND DOMESTIC LINES LESS THAN 3" SHALL BE TYPE "C" COPPER PER ASTM B88.
- L. LOCATION OF SITE LIGHTING IS SCHEMATIC AND MAY CHANGE BASED ON FINAL FIXTURES SELECTED.
- M. THE ENTIRE SITE SHALL HAVE POSITIVE DRAINAGE. NO PONDING OF WATER SHALL BE ALLOWED.
- N. ALL CURB AND GUTTER SHALL HAVE POSITIVE DRAINAGE. THERE SHALL BE NO SHARPE CHANGED IN DIRECTION OR ELEVATION OF ANY CURB UNLESS SPECIFIED ON THESE PLANS. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- O. GRASS SWALES SHE HAVE A MINIMUM SLOPE OF 1.25%.
- P. SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM LONGITUDINAL SLOPE OF 5%.
- Q. ALL SPOT ELEVATIONS ARE BOTTOM OF CURB UNLESS OTHERWISE NOTED.
- R. ALL RAMPS SHALL BE CONSTRUCTED PER ADA GUIDELINES. CITY OF DURHAM AND/OR NCDOT DETAILS AND SPECIFICATIONS. NOTIFY ENGINEER IF EXISTING GRADES PREVENT COMPLIANCE WITH ADA GUIDELINES.

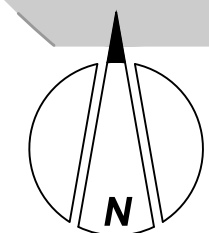
LEGEND (PROPOSED CONDITIONS)

- LD LIMITS OF DISTURBANCE
- TPF TREE PROTECTION FENCE
- Surface Flow Line
- TREE SAVE AREA (TC)
- EXISTING STREAM BUFFER
- 10' NO BUILD ZONE
- PERENNIAL STREAM

DETAIL TITLE	STANDARD DETAIL NUMBER
OPEN CUT UTILITY INSTALLATION	C.O.D. DETAIL C01.06
RESTRAINT LENGTH CHART (FOR FITTINGS)	C.O.D. DETAIL S12.04
VERTICAL OFFSET DETAIL	C.O.D. DETAIL S12.05
TAPPING SLEEVE AND VALVE ASSEMBLY	C.O.D. DETAIL S13.01
WATER VALVE BOX INSTALLATION (4"-12")	C.O.D. DETAIL S13.02
GATE VALVE ASSEMBLY (4"-12")	C.O.D. DETAIL S13.05
FIRE HYDRANT	C.O.D. DETAIL S14.01 / S14.02 / S14.03
BLOW OFF ASSEMBLY (4"-16")	C.O.D. DETAIL S14.04
CONTRACTOR TO REFERENCE ALL CITY OF DURHAM STANDARD DETAILS AND SPECIFICATIONS FOR ADDITIONAL UTILITY INFORMATION.	

1 C301 UTILITY PLAN - WEST  
SCALE: 1"=30'

0 15 30 60  
SCALE: 1"= 30'



**HORVATH ASSOCIATES**

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804 JUNCTION RD.  
DURHAM COUNTY  
DURHAM, NORTH CAROLINA

UTILITY PLAN - WEST



11/13/2019	PER CITY OF DURHAM COMMENTS	RV
01/08/2019	PER CITY OF DURHAM COMMENTS	RV

DRAWN BY:	CHECKED BY:
RV	RV
DATE	07-26-2019
SCALE	AS NOTED
PROJECT NO.	1811
SHEET NO.	

**C301**

SITE PLAN



PIN: 0842-60-00-2576  
PID: 168325

PIN: 0842-60-71-1316  
PID: 168324

LEGEND (PROPOSED CONDITIONS)

- LD — LIMITS OF DISTURBANCE
- LD — TREE PROTECTION FENCE
- SURFACE FLOW LINE
- TREE SAVE AREA (TC)
- EXISTING STREAM BUFFER
- 10' NO BUILD ZONE
- PERENNIAL STREAM

GENERAL GRADING/UTILITY NOTES

- A. PRIOR TO CONSTRUCTION OF THE PROPOSED STORM DRAINS, VERIFY ALL EXISTING LOCATIONS AND RIM/INVERT ELEVATIONS OF CONNECTIONS TO BOTH EXISTING AND PROPOSED STORM SYSTEM. NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN PLANS AND EXISTING CONDITIONS.
- B. ALL STORM DRAINAGE LINES SHALL BE CLASS III REINFORCED CONCRETE PIPE, UNLESS OTHERWISE NOTED.
- C. INSTALL TREE PROTECTION FENCING AT THE SAME TIME AS THE EROSION CONTROL MEASURES. MAINTAIN UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETED.
- D. LOCATE TREE PROTECTION MEASURES SO THAT THEY MAINTAIN A 6 FOOT RADIUS AROUND EXISTING PLANTS OR PROVIDE A 1-FOOT RADIUS FOR EACH 1-INCH DIAMETER OF TREES (MEASURES AT A POINT 4 1/2 FEET ABOVE GROUND) WHICHEVER IS GREATER.
- E. NO STORAGE OF MATERIALS, FILL OR EQUIPMENT SHALL BE ALLOWED WITHIN THE PROTECTED AREA. POST NO TRESPASSING SIGNS ON THE PROTECTION FENCING.
- F. AT THE START OF GRADING INVOLVING THE LOWERING OF THE EXISTING GRADE AROUND A TREE OR THE STRIPPING OF TOPSOIL, MAKE A CLEAN, SHARP, VERTICAL CUT AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. INSTALL THE TREE PROTECTION FENCING ON THE SIDE FARTHEST AWAY FROM THE TREE TRUNKS.
- G. INSTALL ALL UTILITIES IN ACCORDANCE WITH THE CITY OF DURHAM STANDARDS AND SPECIFICATIONS, INCLUDING TRANSITION COUPLINGS.
- H. FIELD VERIFY ALL EXISTING UTILITIES LOCATIONS AND INVERTS PRIOR TO CONSTRUCTION.
- I. ALL POWER, TELEPHONE, AND GAS SERVICES SHALL BE UNDERGROUND, COORDINATE ACCESS SERVICE ROUTES WITH THE UTILITY COMPANIES.
- J. LOCATION OF THE EXISTING UTILITIES IS APPROXIMATE AND MUST BE VERIFIED IN THE FIELD PRIOR TO ANY CONSTRUCTION. NOTIFY THE CITY OF DURHAM AND NC ONECALL TO REQUEST FIELD LOCATION OF SERVICES.
- K. ALL WATER MAINS 3" AND LARGER SHALL BE DUCTILE IRON PIPE PER AWWA C151, AND DOMESTIC LINES LESS THAN 3" SHALL BE TYPE "K" COPPER PER ASTM B88.
- L. LOCATION OF SITE LIGHTING IS SCHEMATIC AND MAY CHANGE BASED ON FINAL FIXTURES SELECTED.
- M. THE ENTIRE SITE SHALL HAVE POSITIVE DRAINAGE. NO PONDING OF WATER SHALL BE ALLOWED.
- N. ALL CURB AND GUTTER SHALL HAVE POSITIVE DRAINAGE. THERE SHALL BE NO SHARPE CHANGED IN DIRECTION OR ELEVATION OF ANY CURB UNLESS SPECIFIED ON THESE PLANS. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- O. GRASS SWALES SHE HAVE A MINIMUM SLOPE OF 1.25%.
- P. SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM LONGITUDINAL SLOPE OF 5%.
- Q. ALL SPOT ELEVATIONS ARE BOTTOM OF CURB UNLESS OTHERWISE NOTED.
- R. ALL RAMPS SHALL BE CONSTRUCTED PER ADA GUIDELINES. CITY OF DURHAM AND/OR NCDOT DETAILS AND SPECIFICATIONS. NOTIFY ENGINEER IF EXISTING GRADES PREVENT COMPLIANCE WITH ADA GUIDELINES.

DEVELOPMENT SUMMARY:

<b>SITE SUMMARY</b>	
PID 168324:	266,732 SF (6.12 AC)
PID 168325:	43,926 SF (1.01 AC)
GROSS LAND AREA:	310,658 SF (7.13 AC)
AREA OF DISTURBANCE:	179,250 SF (4.12 AC)
EXISTING ZONING:	IL(D)
EXISTING USE:	SELF STORAGE
PROPOSED USE:	SELF STORAGE
WATERSHED PROTECTION OVERLAY:	F/J-B
RIVER BASIN:	NEUSE
CITY LIMIT:	INSIDE
TIER:	SUBURBAN
<b>LOT SUMMARY</b>	
MAXIMUM BUILDING HEIGHT:	50'
MAXIMUM BUILDING COVERAGE:	60% (186,395 SF)
MINIMUM LOT WIDTH:	100'
MINIMUM LOT SIZE:	25,000 SF
STREET YARD SETBACK:	40'
SIDE SETBACK:	30'
REAR SETBACK:	25'
<b>BUILDING SUMMARY</b>	
EXISTING BUILDING AREA:	24,000 SF
PROPOSED BUILDING AREA:	66,000 SF
TOTAL PROPOSED BUILDING AREA:	90,000 SF
EXISTING STORAGE UNITS:	775
PROPOSED STORAGE UNITS:	536
TOTAL STORAGE UNITS:	1,311

<b>PARKING SUMMARY</b>	
MAXIMUM NUMBER OF SELF STORAGE UNITS BASED ON PROVIDED PARKING:	1,349 UNITS
REQUIRED STORAGE PARKING (1:100 UNITS):	1,311 UNITS (13 SPACES)
HC VAN ACCESSIBLE PARKING PROVIDED:	2 SPACES
STANDARD PARKING PROVIDED (MIN. 7' X 14'):	4 SPACES
COMPACT PARKING PROVIDED (MIN. 7' X 14'):	2 SPACES
TOTAL PARKING PROVIDED (MIN. 2 REQUIRED):	13 SPACES
BIKE PARKING (MIN. 2 REQUIRED):	2 SPACES

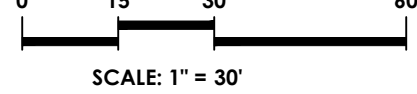
<b>IMPERVIOUS SUMMARY</b>	
TOTAL AREA:	310,657 SF (7.13 AC)
MAXIMUM ALLOWABLE IMPERVIOUS AREA:	217,460 SF (4.99 AC) (70.00%)
EXISTING IMPERVIOUS AREA:	78,052 SF (1.79 AC) (25.12%)
PROPOSED IMPERVIOUS AREA:	78,198 SF (1.80 AC) (25.17%)
ROOF:	37,851 SF (0.87 AC) (12.18%)
PARKING/DRIVEWAY/SIDEWALK:	40,347 SF (0.93 AC) (12.99%)
RESERVE:	2,000 SF (0.05 AC) (0.64%)
TOTAL IMPERVIOUS AREA:	158,249 SF (3.63 AC) (50.94%)

<b>TREE COVERAGE SUMMARY</b>	
REQUIRED TREE COVERAGE (6/30' )	31,246 SF (0.72 AC)
PROPOSED TREE COVERAGE:	31,756 SF (0.73 AC)

DETAIL TITLE	STANDARD DETAIL NUMBER
OPEN CUT UTILITY INSTALLATION	C.O.D. DETAIL C01.06
RESTRAINT LENGTH CHART (FOR FITTINGS)	C.O.D. DETAIL S12.04
VERTICAL OFFSET DETAIL	C.O.D. DETAIL S12.05
TAPPING SLEEVE AND VALVE ASSEMBLY	C.O.D. DETAIL S13.01
WATER VALVE BOX INSTALLATION (4"-12")	C.O.D. DETAIL S13.02
GATE VALVE ASSEMBLY (4"-12")	C.O.D. DETAIL S13.05
FIRE HYDRANT	C.O.D. DETAIL S14.01 / S14.02 / S14.03
BLOW OFF ASSEMBLY (4"-16")	C.O.D. DETAIL S14.04
CONTRACTOR TO REFERENCE ALL CITY OF DURHAM STANDARD DETAILS AND SPECIFICATIONS FOR ADDITIONAL UTILITY INFORMATION.	



1  
C302  
UTILITY PLAN - EAST  
SCALE: 1"=30'



**HORVATH**  
ASSOCIATES

16 CONSULTANT PLACE, SUITE 201  
DURHAM, NORTH CAROLINA 27707  
P 919.490.4990 F 919.490.8953

NORTH CAROLINA BOARD OF  
EXAMINERS FOR ENGINEERS AND  
SURVEYORS LICENSE NO.: C-0676

www.horvathassociates.com

**AAA STORAGE**  
804 JUNCTION RD.  
DURHAM COUNTY  
DURHAM, NORTH CAROLINA

UTILITY PLAN -  
EAST



11/13/2019	PER CITY OF DURHAM COMMENTS	RV
01/08/2019	PER CITY OF DURHAM COMMENTS	RV

DRAWN BY:	CHECKED BY:
RV	RV
DATE	07-26-2019
SCALE	AS NOTED
PROJECT NO.	1811
SHEET NO.	

**C302**

SITE PLAN



DEVELOPMENT SUMMARY:

**SITE SUMMARY**  
PID 168324: 266,732 SF (6.12 AC)  
PID 168325: 43,926 SF (1.01 AC)  
GROSS LAND AREA: 310,658 SF (7.13 AC)  
AREA OF DISTURBANCE: 179,250 SF (4.12 AC)  
EXISTING ZONING: IL(D)  
EXISTING USE: SELF STORAGE  
PROPOSED USE: SELF STORAGE  
WATERSHED PROTECTION OVERLAY: F/U-B  
RIVER BASIN: NEUSE  
CITY LIMIT: INSIDE  
TIER: SUBURBAN

**LOT SUMMARY**  
MAXIMUM BUILDING HEIGHT: 50'  
MAXIMUM BUILDING COVERAGE: 60% (186,395 SF)  
MINIMUM LOT WIDTH: 100'  
MINIMUM LOT SIZE: 25,000 SF  
STREET YARD SETBACK: 40'  
SIDE SETBACK: 30'  
REAR SETBACK: 25'

**BUILDING SUMMARY**  
EXISTING BUILDING AREA: 24,000 SF  
PROPOSED BUILDING AREA: 66,000 SF  
TOTAL PROPOSED BUILDING AREA: 90,000 SF  
EXISTING STORAGE UNITS: 775  
PROPOSED STORAGE UNITS: 536  
TOTAL STORAGE UNITS: 1,311

**PARKING SUMMARY**  
MAXIMUM NUMBER OF SELF STORAGE UNITS BASED ON PROVIDED PARKING: 1,349 UNITS  
REQUIRED FOR SELF STORAGE: 1,349 UNITS = 13,492 SPACES

HC VAN ACCESSIBLE PARKING PROVIDED: 2 SPACES  
STANDARD PARKING PROVIDED (40' X 10'): 4,824 SPACES

COMPACT PARKING PROVIDED (MIN. 2' X 10'): 2 SPACES  
TOTAL PARKING PROVIDED: 13 SPACES  
BIKE PARKING (MIN. 2 REQUIRED): 1/750 Units = 2 SPACES

**IMPERVIOUS SUMMARY**  
TOTAL AREA: 310,657 SF (7.13 AC)  
MAXIMUM ALLOWABLE IMPERVIOUS AREA: 217,460 SF (4.99 AC) (70.00%)  
EXISTING IMPERVIOUS AREA: 78,052 SF (1.79 AC) (25.17%)  
PROPOSED IMPERVIOUS AREA: 78,198 SF (1.80 AC) (25.17%)  
ROOF: 37,851 SF (0.87 AC) (12.18%)  
PARKING/DRIVEWAY/SIDEWALK: 40,347 SF (0.93 AC) (12.99%)  
RESERVE: 2,000 SF (0.05 AC) (0.64%)  
TOTAL IMPERVIOUS AREA: 158,249 SF (3.63 AC) (50.94%)

**TREE COVERAGE SUMMARY**  
REQUIRED TREE COVERAGE: 31,046 SF (0.70 AC)  
PROPOSED TREE COVERAGE: 31,756 SF (0.72 AC)

LANDS N/F  
NC LAND HOLDINGS II LLC  
DB 7720 PG 703  
PB 195 PG 153  
PID 161184  
PIN 0842-03-40-9145.SPL  
VACANT INDUSTRIAL ZONE IL(D)

LANDS N/F  
CHATHAM STEEL CORPORATION  
DB 1363 PG 808  
PB 186 PG 323  
PID 168336  
PIN 0842-04-50-5743.SPL  
INDUSTRIAL ZONE IL(D)

LANDS N/F  
KINGDOM HALL OF JEHOVAHS WITNESSES TRUSTEES  
DB 1639 PG 344  
PB 97 PG 103  
PIN 0842-04-40-4334  
CMNTY SVC/CHURCH ZONE IL(D)

LANDS N/F  
TRUEWAY HOLINESS CHURCH INC  
DB 5907 PG 424  
PB 187 PG 189  
TRACT 5  
PID 161183  
PIN 0841-07-59-9605  
VACANT INDUSTRIAL ZONE: IL

GENERAL GRADING/UTILITY NOTES

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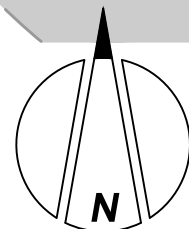
LEGEND (PROPOSED CONDITIONS)

- LD LIMITS OF DISTURBANCE
- LD TREE PROTECTION FENCE
- SURFACE FLOW LINE
- TREE SAVE AREA (TC)
- EXISTING STREAM BUFFER
- 10' NO BUILD ZONE
- PERENNIAL STREAM

1 C401 GRADING & DRAINAGE PLAN - WEST

SCALE: 1"=30'

0 15 30 60  
SCALE: 1"= 30'



AAA STORAGE  
804 JUNCTION RD.  
DURHAM COUNTY  
DURHAM, NORTH CAROLINA

GRADING & DRAINAGE  
PLAN - WEST



1	11/13/2019 PER CITY OF DURHAM COMMENTS	RV
2	01/08/2019 PER CITY OF DURHAM COMMENTS	RV

DRAWN BY:	CHECKED BY:
RV	RV
DATE	07-26-2019
SCALE	AS NOTED
PROJECT NO.	1811
SHEET NO.	

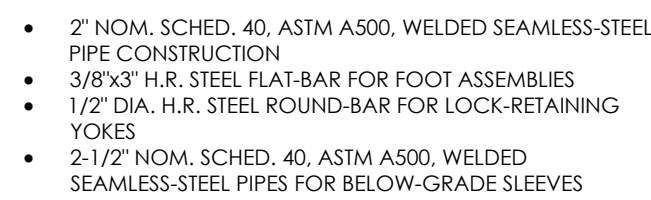
C401

SITE PLAN





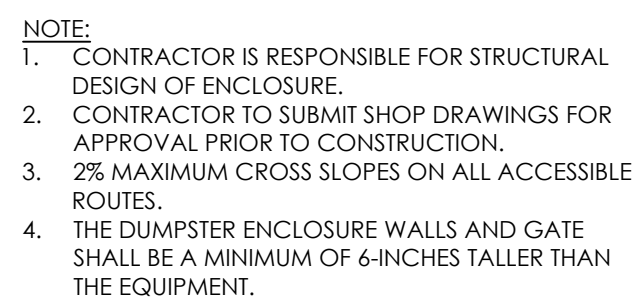




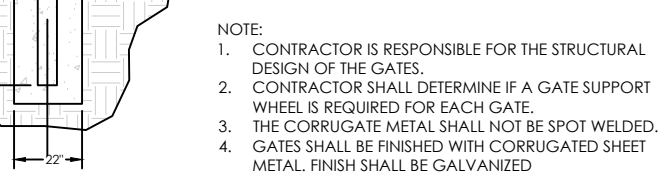
1	INVERTED U BICYCLE RACK
C800	N.T.S.

#### SEC. 10.4.4.A General Design Standards for Bicycle Parking

1. Where bicycle parking facilities are not clearly visible to approaching cyclists, signs shall be posted to direct cyclists to the facilities.
2. Bicycle racks that are placed parallel to each other shall be spaced at least 30' apart. Bicycle racks shall be spaced 24 inches from walls, curbs, pavement edges, and other obstructions.
3. Consideration shall be provided for bicycles to enter and leave the facility. The aisle shall have a width of at least four feet to the front or the rear of a standard six-foot bicycle parked in the facility. Bicycle parking shall remain accessible and not be rendered unusable by fixed or movable objects.
4. Bicycle parking space shall be sufficient to accommodate a bicycle at least six feet in length and two feet wide.
5. Overhead clearance shall be at least seven feet.
6. Bicycle parking spaces shall be clearly marked as such and shall be separated from motorized vehicle parking by some form of physical barrier designed to protect a bicycle from being hit by a motorized vehicle.
7. Each bicycle parking space shall be provided with a rack permanently anchored to the foundation to which a bicycle frame and both wheels may be conveniently secured using either a chain and padlock or a U-lock. The rack shall support a motorized vehicle frame and wheels without damage to frame, wheels, or components. Accessible rack types are the "inverted U-rack" and the "wreze rack". Any other types of racks that meet the above criteria may be approved administratively by the Planning Director.
7. Outdoor bicycle parking facilities shall be surfaced in the same manner as the motorized vehicle parking area and shall be equally level and accessible to the street.
8. Lighting and other security design features shall be provided in bicycle parking facilities equivalent to that provided in the facilities for motorized vehicles.



11 DUMPSTER ENCLOSURE  
C800 SCALE: N.T.S.



DUMPSTER ENCLOSURE CANE BOLT



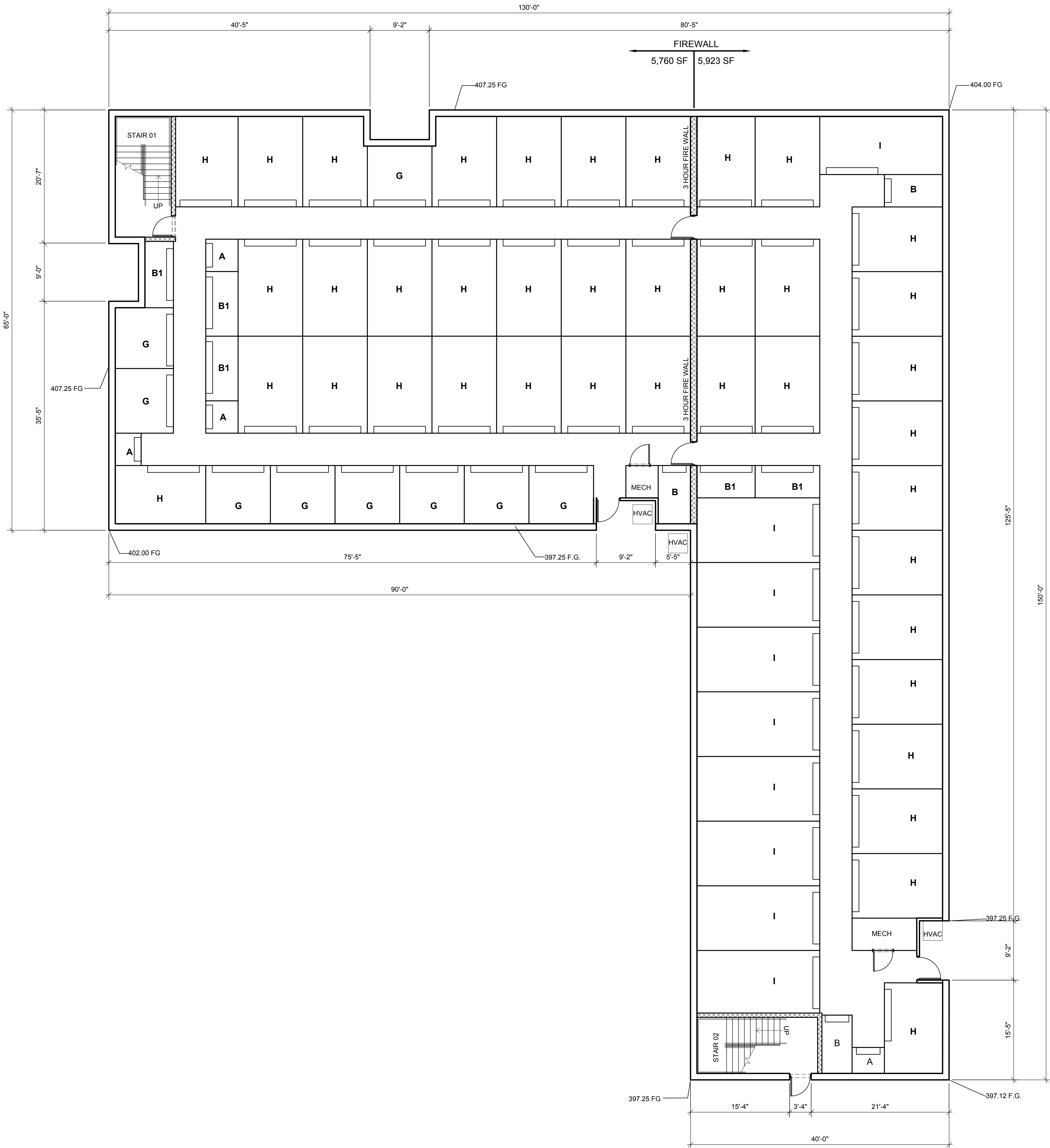
1	11/13/2019 PER CITY OF DURHAM COMMENTS	RV
2	01/08/2019 PER CITY OF DURHAM COMMENTS	RV

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	RV
DATE	07-26-2019
SCALE	AS NOTED
PROJECT NO.	1811
SHEET NO.	

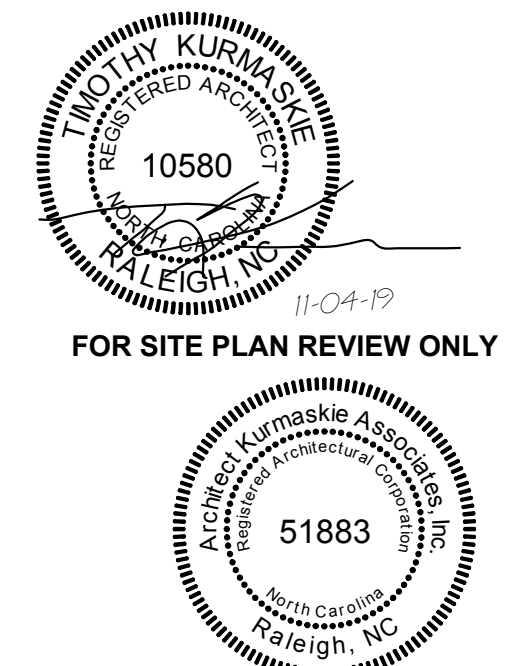
C800



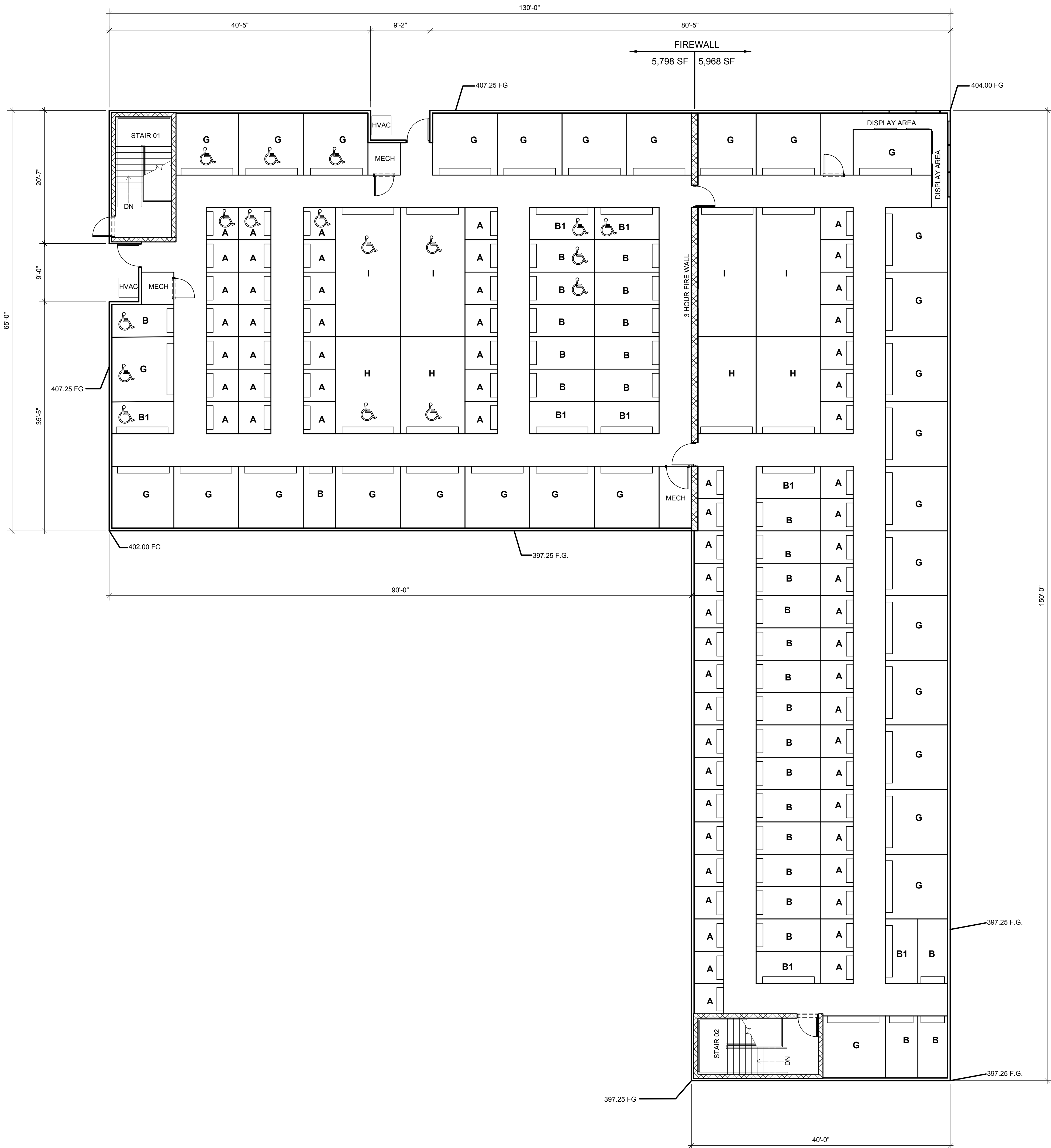


TOTAL BUILDING 1					
UNIT LABLE	UNIT SIZE	QUANTITY	GROSS S.F.	S.F. OVERAGE (ODD SHAPES)	% OF MIX
A	5'-0" X 5'-0"	72	1800	0	10.4%
B	5'-0" X 10'-0"	32	1600	0	9.3%
B1	10'-0" X 5'-0"	13	650	0	3.8%
G	10'-0" X 10'-0"	40	4000	0	23.2%
H	10'-0" X 15'-0"	44	6600	0	38.3%
I	10'-0" X 20'-0"	13	2600	0	15.1%
TOTALS		214	17250		100%
NET RENTABLE SQUARE FEET		17250			
GROSS BUILDING AREA		23449			
PERCENTAGE OF RENTABLE SPACE		73.56%			
AVERAGE SQUARE FOOT/UNIT		80.6			

FIRST LEVEL UNIT MIX					
UNIT LABLE	UNIT SIZE	QUANTITY	GROSS S.F.	S.F. OVERAGE (ODD SHAPES)	% OF MIX
A	5'-0" X 5'-0"	4	100	0	1.1%
B	5'-0" X 10'-0"	3	150	0	1.6%
B1	10'-0" X 5'-0"	5	250	0	2.7%
G	10'-0" X 10'-0"	9	900	0	9.8%
H	10'-0" X 15'-0"	40	6000	0	65.2%
I	10'-0" X 20'-0"	9	1800	0	19.6%
TOTALS		70	9200		100%
NET RENTABLE SQUARE FEET		9200			
GROSS BUILDING AREA		11683			
PERCENTAGE OF RENTABLE SPACE		78.75%			
AVERAGE SQUARE FOOT/UNIT		131.4			







SECOND LEVEL UNIT MIX					
UNIT LABEL	UNIT SIZE	QUANTITY	GROSS S.F.	S.F. OVERAGE (ODD SHAPES)	% OF MIX
A	5'-0" X 5'-0"	68 (3 ADA)	1700	0	21.1%
B	5'-0" X 10'-0"	29 (3 ADA)	1450	0	18.0%
B1	10'-0" X 5'-0"	8 (3 ADA)	400	0	5.0%
G	10'-0" X 10'-0"	31 (4 ADA)	3100	0	38.5%
H	10'-0" X 15'-0"	4 (2 ADA)	600	0	7.5%
I	10'-0" X 20'-0"	4 (2 ADA)	800	0	9.9%
TOTALS		144	8050		100%
NET RENTABLE SQUARE FEET		8050			
GROSS BUILDING AREA		11766			
PERCENTAGE OF RENTABLE SPACE		68.42%			
AVERAGE SQUARE FOOT/UNIT		55.9			
(17 TOTAL ADA UNITS REQUIRED FOR ALL BUILDINGS)					

ARCHITECT  
KURMASKIE  
ASSOCIATES,  
INC.

1030 Washington Street  
Raleigh, NC 27605  
Phone: 919-846-1600  
architectskt.com

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FOR SITE PLAN REVIEW ONLY

STORAGE BUILDING FOR:  
**AAA STORAGE  
BUILDING 1**  
805 JUNCTION ROAD  
DURHAM, NC 27703

Project Reference Numbers

Architect's Project No. 170037  
Drawn By : JGM/JRL/WMB

REVISIONS

01

UNIT MIX REV. 10/16/19

03

ADA UNIT REV. 11/04/19

DATES

PRELIMINARY10-16-2019

2ND FLOOR  
FLOOR PLAN

SHEET NUMBER

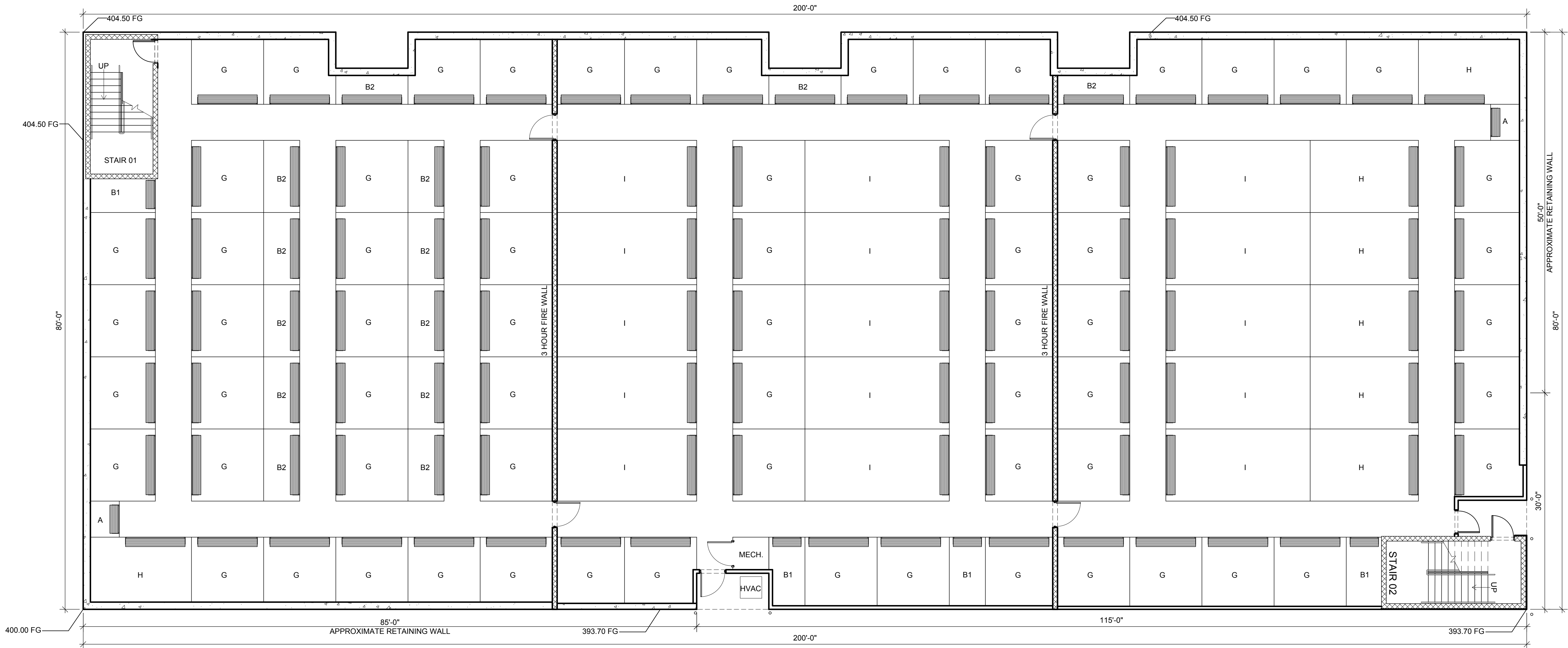
2ND FLOOR UNIT MIX  
floor plan

SCALE : 1/8" = 1'-0"

01

A1.2





TOTAL BUILDING 2					
UNIT LABEL	UNIT SIZE	QUANTITY	GROSS S.F.	S.F. OVERAGE (ODD SHAPES)	% OF MIX
A	5'-0" X 5'-0"	4	100	0	0.4%
B1	5'-0" X 10'-0"	27	1350	0	5.8%
B2	10'-0" X 5'-0"	23	1150	0	4.9%
G	10'-0" X 10'-0"	134	13400	0	57.5%
H	10'-0" X 15'-0"	14	2100	0	9.0%
I	10'-0" X 20'-0"	26	5200	0	22.3%
TOTALS		228	23300		100%
NET RENTABLE SQUARE FEET		23300			
GROSS BUILDING AREA		32000			
PERCENTAGE OF RENTABLE SPACE		72.81%			
AVERAGE SQUARE FOOT/UNIT		102.2			

FIRST LEVEL UNIT MIX					
UNIT LABEL	UNIT SIZE	QUANTITY	GROSS S.F.	S.F. OVERAGE (ODD SHAPES)	% OF MIX
A	5'-0" X 5'-0"	2	50	0	0.4%
B1	5'-0" X 10'-0"	4	200	0	1.7%
B2	10'-0" X 5'-0"	13	650	0	5.6%
G	10'-0" X 10'-0"	67	6700	0	57.5%
H	10'-0" X 15'-0"	7	1050	0	9.0%
I	10'-0" X 20'-0"	15	3000	0	25.8%
TOTALS		108	11650		100%
NET RENTABLE SQUARE FEET		11650			
GROSS BUILDING AREA		16000			
PERCENTAGE OF RENTABLE SPACE		72.81%			
AVERAGE SQUARE FOOT/UNIT		107.9			

GROUND FLOOR UNIT MIX

floor plan

SCALE : 1/8" = 1'-0"

01

STORAGE BUILDING FOR:  
**AAA STORAGE  
BUILDING 2**  
805 JUNCTION ROAD  
DURHAM, NC 27703

akai

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KURMASKIE  
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10580  
10/16/2019  
FOR SITE PLAN REVIEW ONLY

51883  
North Carolina  
Raleigh, NC

Project Reference Numbers

Architect's Project No. 170037  
Drawn By : WMB/EM

REVISIONS

01 FACADE REV. 10-15-19

02 UNIT MIX REV. 10-16-19

DATES

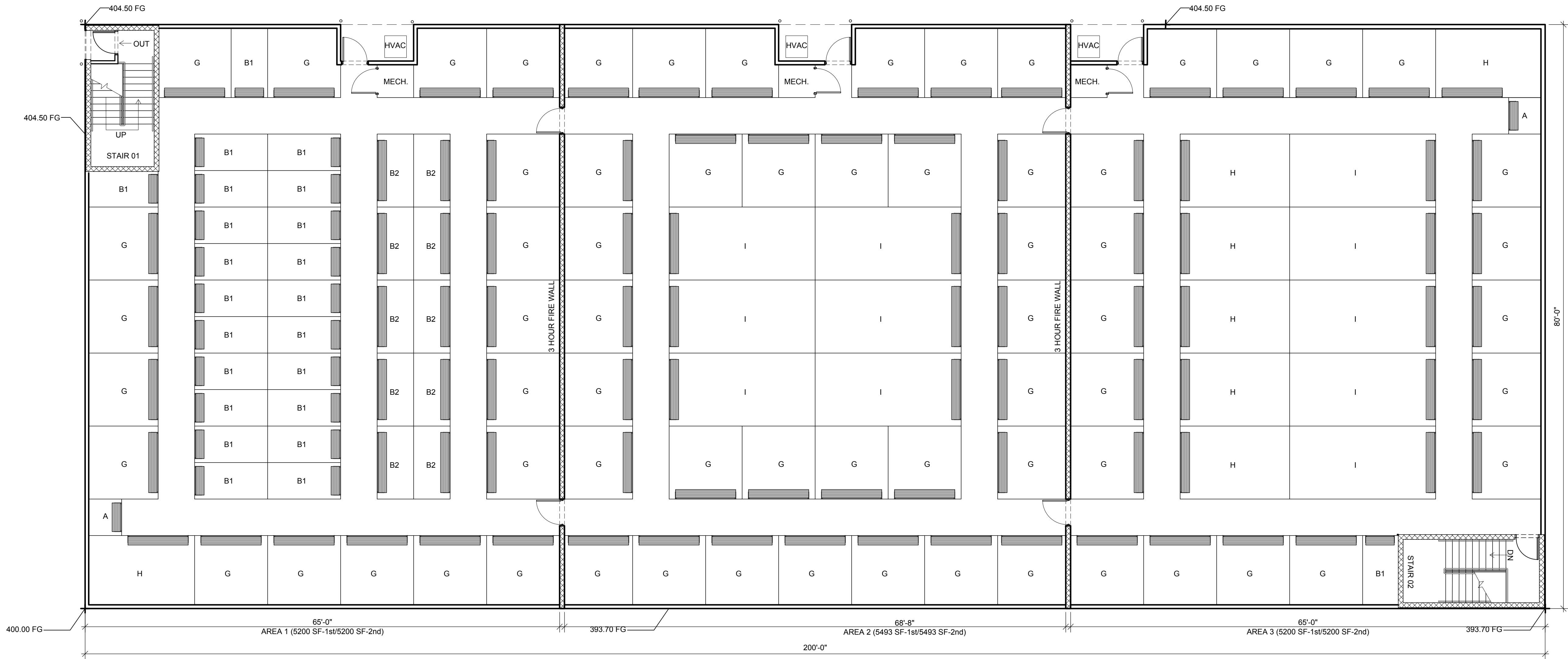
PRELIMINARY 10-16-19

GROUND FLOOR  
FLOOR PLAN

SHEET NUMBER

A2.1





SECOND LEVEL UNIT MIX					
UNIT LABEL	UNIT SIZE	QUANTITY	GROSS S.F.	S.F. OVERAGE (ODD SHAPES)	% OF MIX
A	5'-0" X 5'-0"	2	50	0	0.4%
B1	5'-0" X 10'-0"	23	1150	0	9.9%
B2	10'-0" X 5'-0"	10	500	0	4.3%
G	10'-0" X 10'-0"	67	6700	0	57.5%
H	10'-0" X 15'-0"	7	1050	0	9.0%
I	10'-0" X 20'-0"	11	2200	0	18.9%
TOTALS		120	11650		100%
NET RENTABLE SQUARE FEET		11650			
GROSS BUILDING AREA		16000			
PERCENTAGE OF RENTABLE SPACE		72.81%			
AVERAGE SQUARE FOOT/UNIT		97.1			

UPPER FLOOR UNIT MIX

floor plan

SCALE : 1/8" = 1'-0"

01

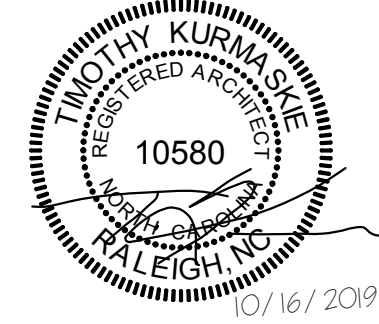
akai

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STORAGE BUILDING FOR:  
**AAA STORAGE  
BUILDING 2**  
805 JUNCTION ROAD  
DURHAM, NC 27703

Project Reference Numbers

Architect's Project No. 170037  
Drawn By : WMB/EM

REVISIONS

01 FACADE REV. 10-15-19  
02 UNIT MIX REV. 10-16-19

DATES

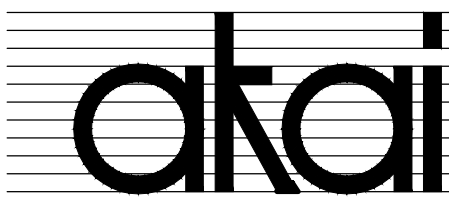
PRELIMINARY 10-16-19

UPPER FLOOR  
FLOOR PLAN

SHEET NUMBER

A2.2



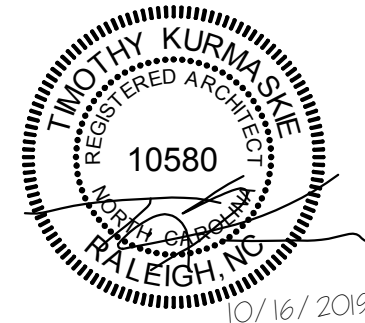


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STORAGE BUILDING FOR:  
**AAA STORAGE  
BUILDING 3**  
805 JUNCTION ROAD  
DURHAM, NC 27703

Project Reference Numbers  
Architect's Project No. 170037  
Drawn By : WMB/EM

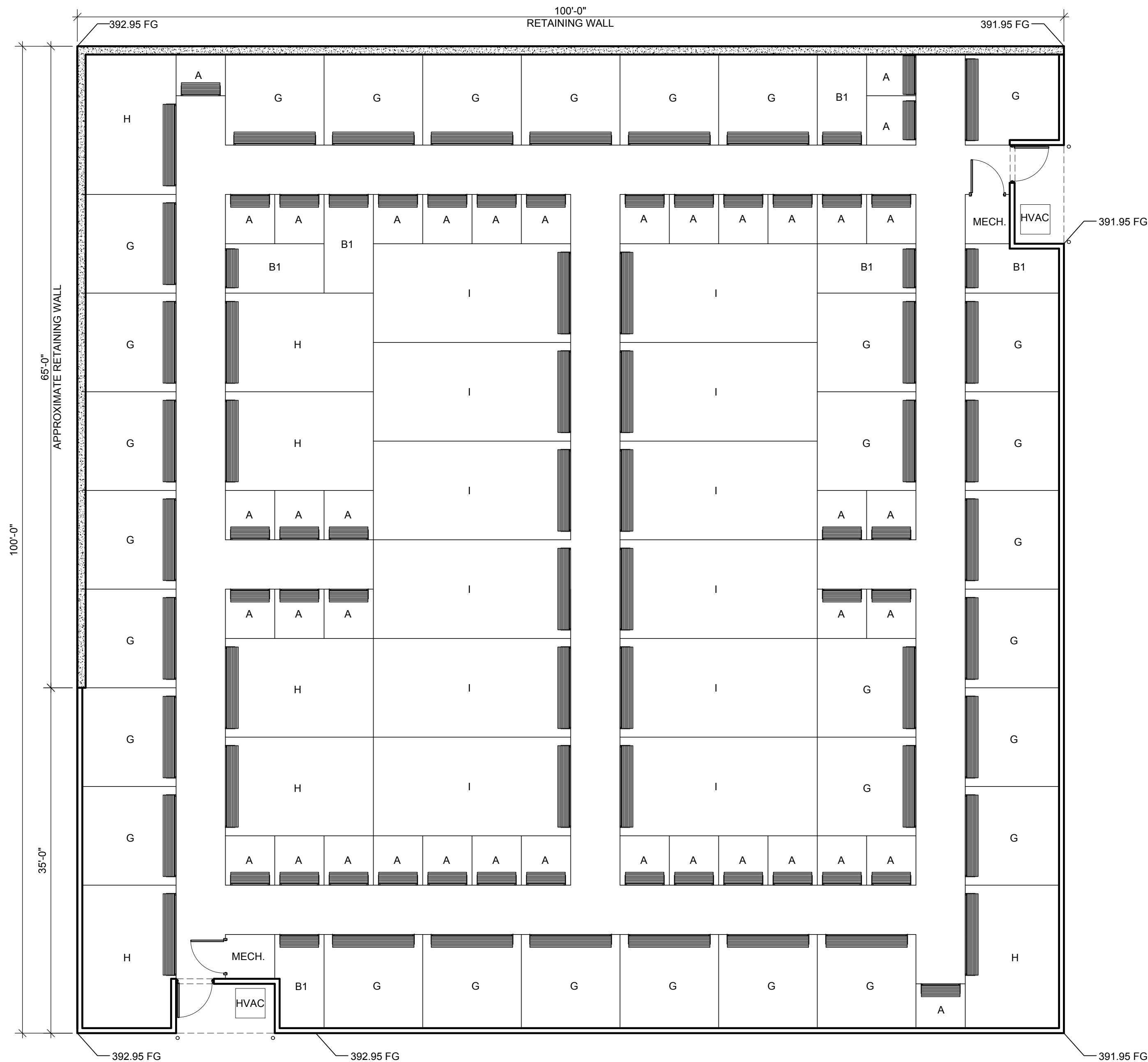
REVISIONS  
01 UNIT MIX REV. 10/16/19

DATES  
PRELIMINARY 10-16-19

GROUND FLOOR  
FLOOR PLAN

SHEET NUMBER

A3

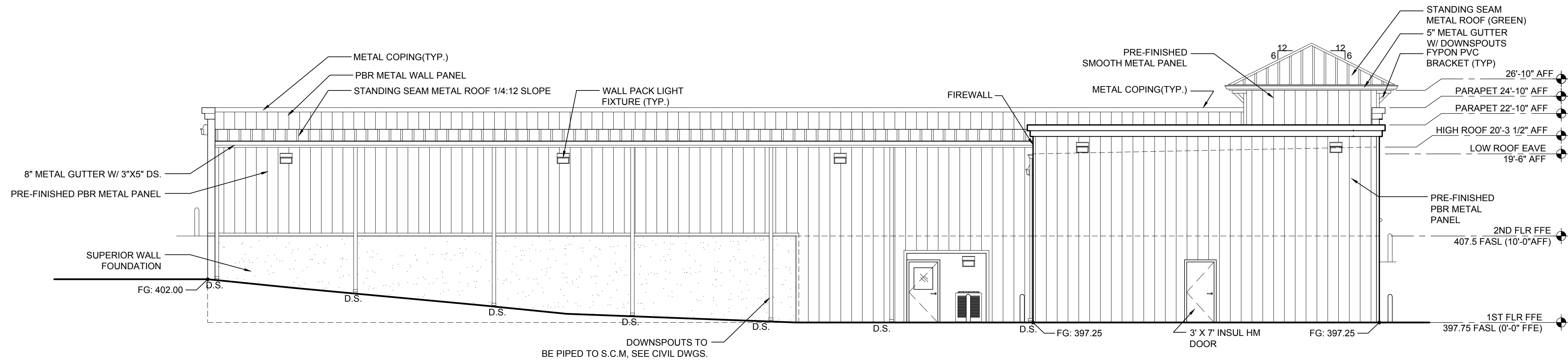


TOTAL BUILDING 3					
UNIT LABLE	UNIT SIZE	QUANTITY	GROSS S.F.	S.F. OVERAGE (ODD SHAPES)	% OF MIX
A	5'-0" X 5'-0"	39	975	0	12.6%
B1	5'-0" X 10'-0"	6	300	0	3.9%
G	10'-0" X 10'-0"	30	3000	0	38.8%
H	10'-0" X 15'-0"	7	1050	0	13.6%
I	10'-0" X 20'-0"	12	2400	0	31.1%
TOTALS		94	7725		100%
NET RENTABLE SQUARE FEET		7725			
GROSS BUILDING AREA		10000			
PERCENTAGE OF RENTABLE SPACE		77.25%			
AVERAGE SQUARE FOOT/UNIT		82.2			

GROUND FLOOR UNIT MIX  
floor plan  
SCALE: 1/8" = 1'-0"

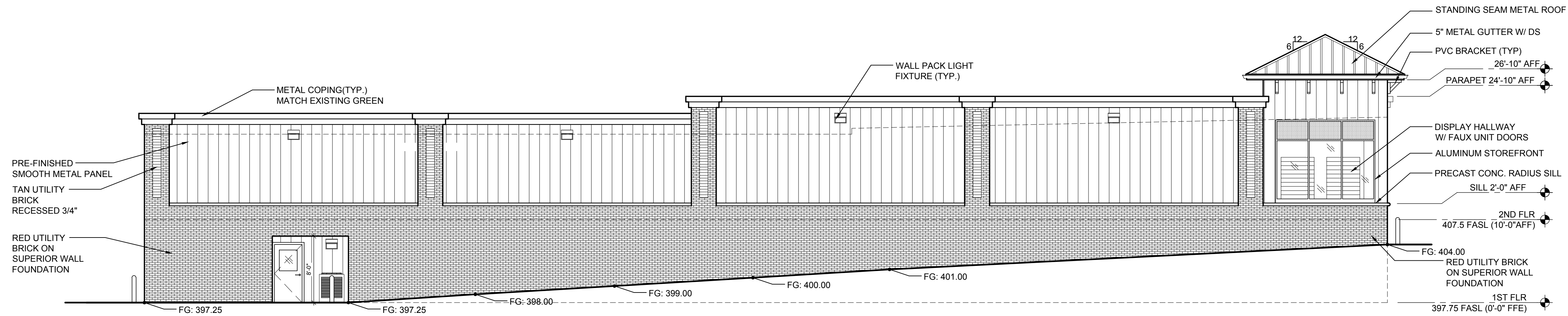
01





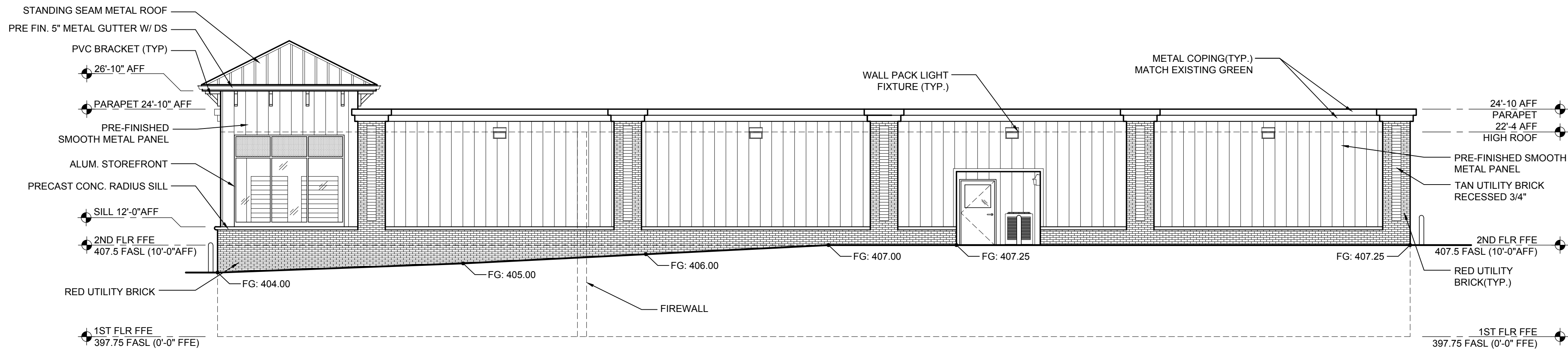
SOUTHEAST  
elevation  
SCALE : 1/8" = 1'-0"

04



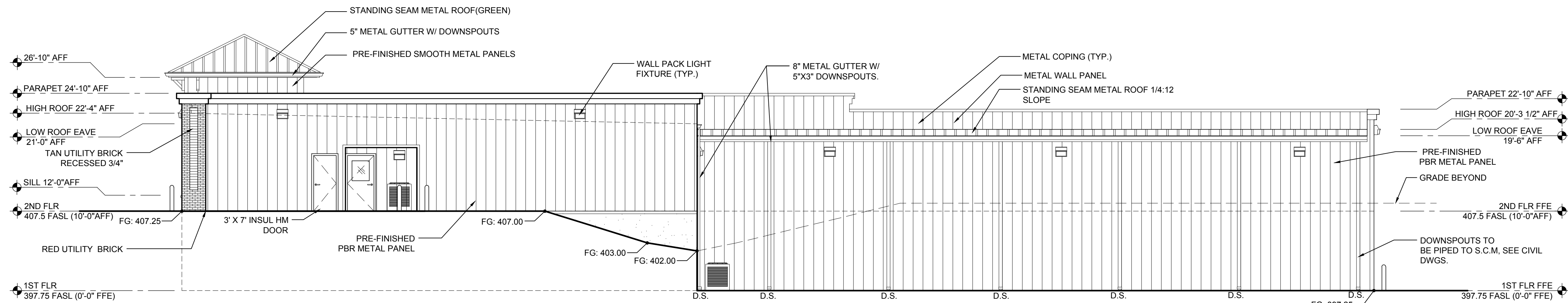
NORTHEAST  
elevation  
SCALE : 1/8" = 1'-0"

03



NORTHWEST  
elevation  
SCALE : 1/8" = 1'-0"

02



SOUTHWEST  
elevation  
SCALE : 1/8" = 1'-0"

01

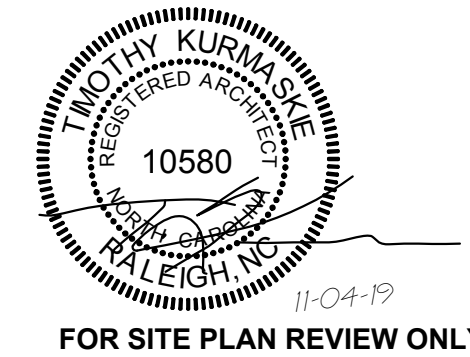
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STORAGE BUILDING FOR:  
**AAA STORAGE  
BUILDING 1**  
805 JUNCTION ROAD  
DURHAM, NC 27703

Project Reference Numbers  
Architect's Project No. 170037  
Drawn By : JGM/JRL/WMB

REVISIONS

01 UNIT MIX REV. 10/16/19  
03 ADA UNIT REV. 11/04/19

DATES

PRELIMINARY 10-16-2019

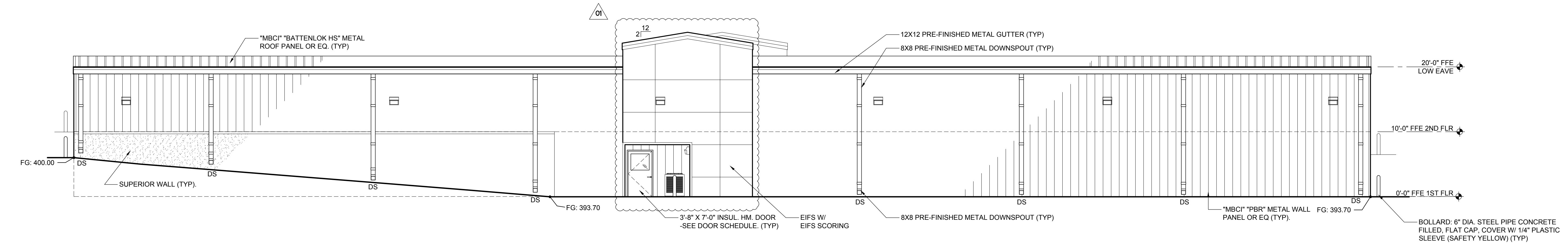
BLDG 1

ELEVATIONS

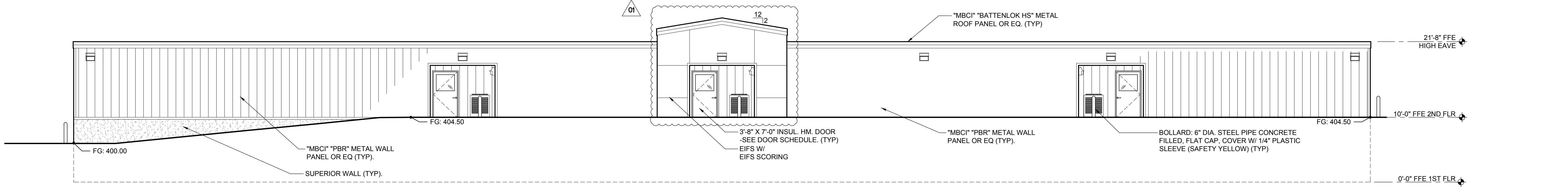
SHEET NUMBER

A4

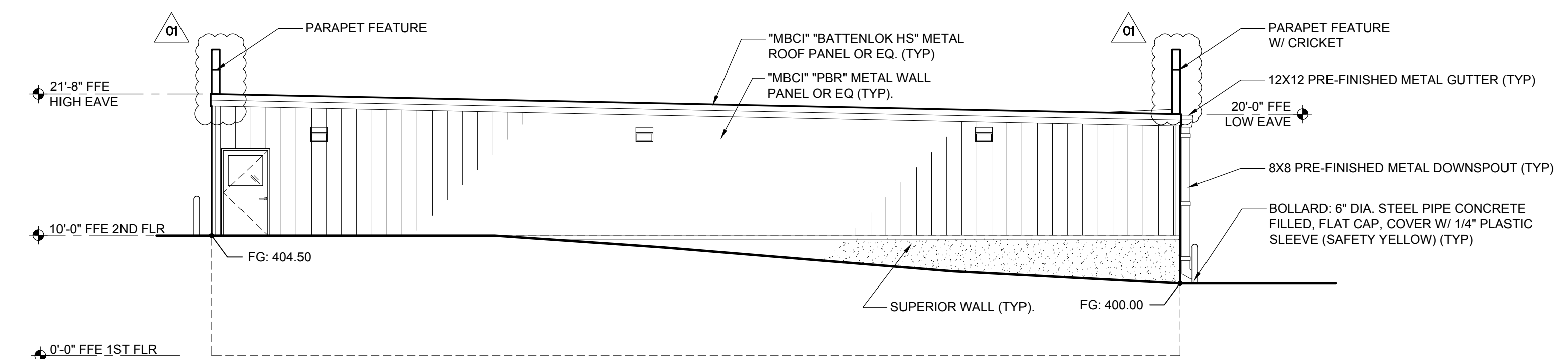




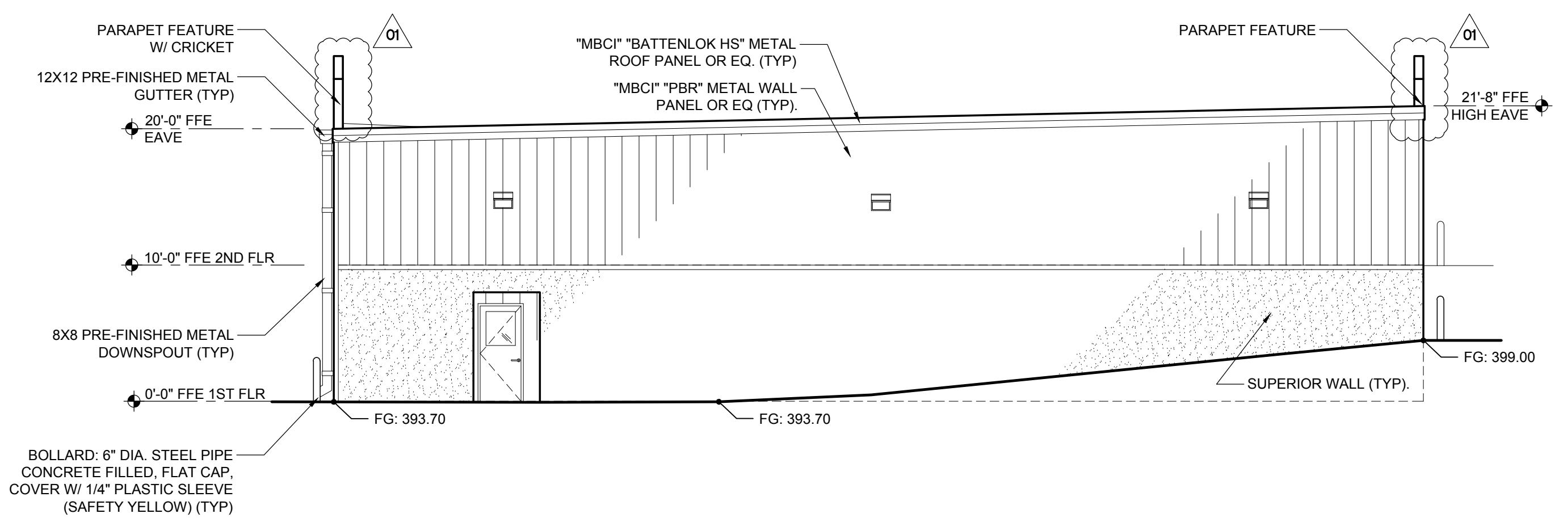
**SOUTH**  
**elevation**  
SCALE : 1/8" = 1'-0"  
**04**



**NORTH**  
**elevation**  
SCALE : 1/8" = 1'-0"  
**03**



**WEST**  
**elevation**  
SCALE : 1/8" = 1'-0"  
**02**



**EAST**  
**elevation**  
SCALE : 1/8" = 1'-0"  
**01**

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STORAGE BUILDING FOR:  
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DURHAM, NC 27703

Project Reference Numbers	
Architect's Project No.	170037
Drawn By :	WMB/EM

REVISIONS	
01	FACADE REV. 10-15-19
02	UNIT MIX REV. 10-16-19

DATES	
PRELIMINARY	10-16-19

**BUILDING  
ELEVATIONS**

SHEET NUMBER

**A5**

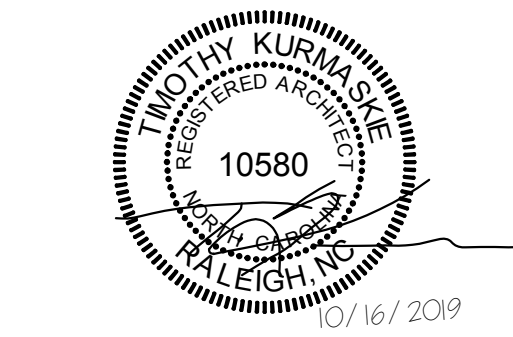




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Project Reference Numbers  
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Drawn By: WMB/EM

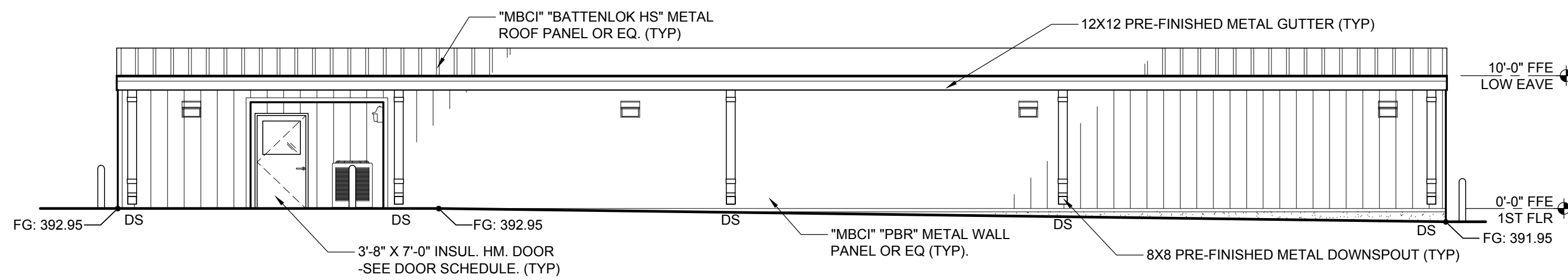
REVISIONS  
01 UNIT MIX REV. 10/16/19

DATES  
PRELIMINARY 10-16-19

ELEVATIONS

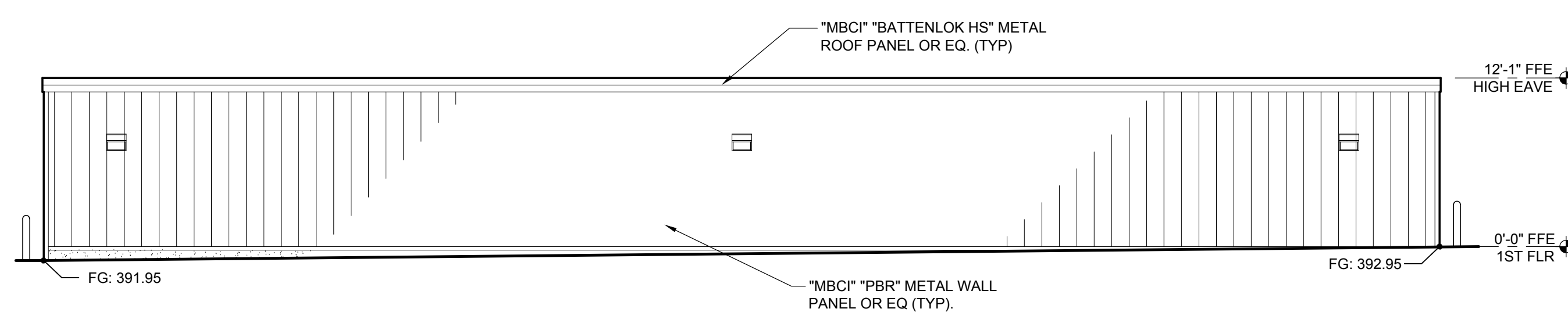
SHEET NUMBER

A6



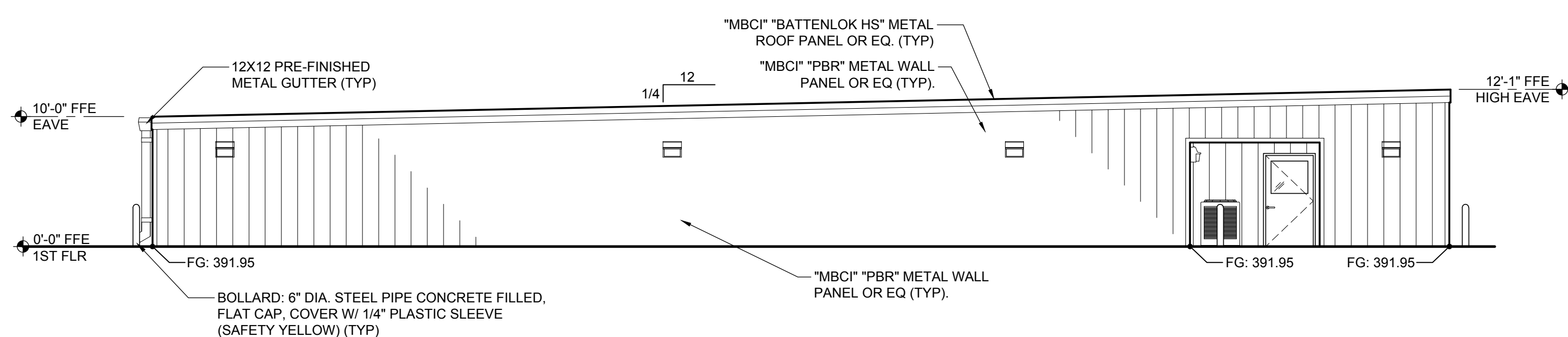
SOUTH  
elevation  
SCALE : 3/32' = 1'-0'

04



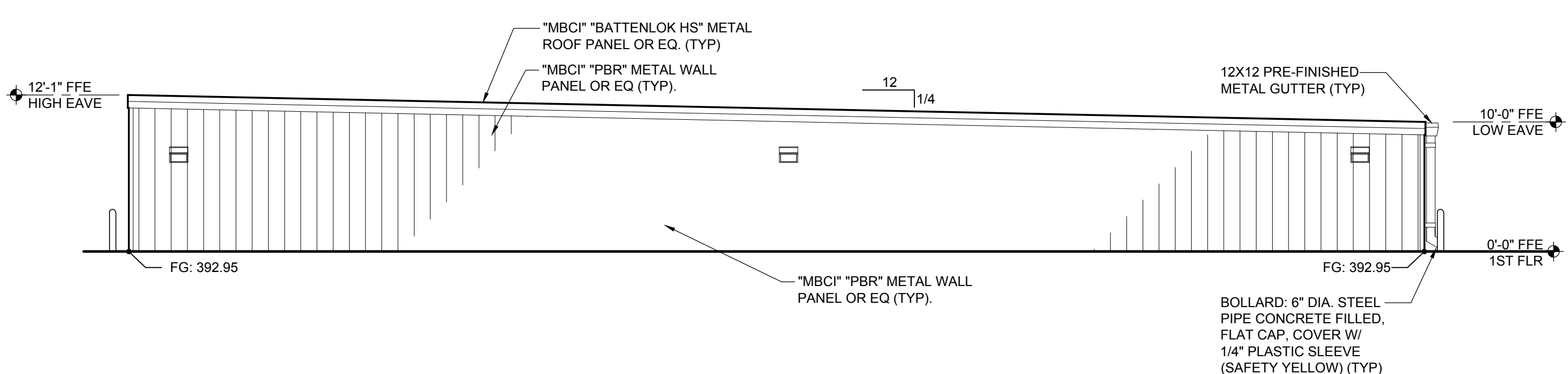
NORTH  
elevation  
SCALE : 3/32' = 1'-0'

03



EAST  
elevation  
SCALE : 3/32' = 1'-0'

02



WEST  
elevation  
SCALE : 3/32' = 1'-0'

01